



The Estates of Gleannloch Farms
Supplement

RESIDENTIAL DESIGN GUIDELINES

Gleannloch Farms Community Association Inc

revised 05/01/00

Section Six
The Estates of Gleannloch Farms
Supplement to Residential Design Guidelines

In addition to the Residential Design Guidelines for Gleannloch Farms, these are “Village” specific requirements.

Typical lot sizes in The Estates are in excess of one acre.

No two residences in this section may have the same exterior elevations.

Certain lots will have golf course views and are required to have iron fencing at the rear or side lot lines as appropriate to preserve views.

Specifics for fencing and driveway location are noted in the following pages.

FOREWORD

Gleannloch Farms is being developed as a master planned residential community. This document is presented as a minimum set of development guidelines and standards for Gleannloch Farms Section Six - The Estates. The intended use is to provide an understanding of responsibilities of the Developer and the Builder, to develop a framework to illustrate and define design objectives and requirements to create a unified, harmonious setting for divergent lifestyles and tastes inherent in a planned development.

These guidelines are supplemental to The Declaration of Covenants, Conditions and Restrictions, and are to be used by the Architectural Review Committee (ARC) in review of plans submitted, as required by builders. Non-compliance with these guidelines is grounds for disapproval of plans. These guidelines are also for use as a standard for future compliance to maintain the integrity of the community.

Illustrative examples and descriptions are meant to insure an orderly, well-maintained and attractive environment for the residents of Gleannloch Farms.

The Estates of Gleannloch Farms is meant to be the cornerstone of exclusive residences for the entire Gleannloch Farms community. Designs with expansive front elevations that maximize lot frontage and streetscape opportunities are encouraged.

Gleannloch Farms is located in Northwest Harris County, Texas in the extra-territorial jurisdiction of the City of Houston. Rules and regulations of these entities supercede the residential guidelines.

SITE LAYOUT

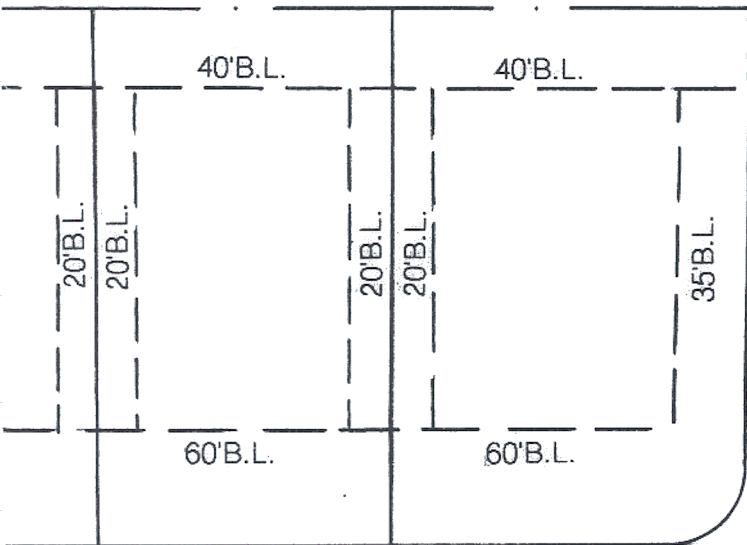
Building Setbacks

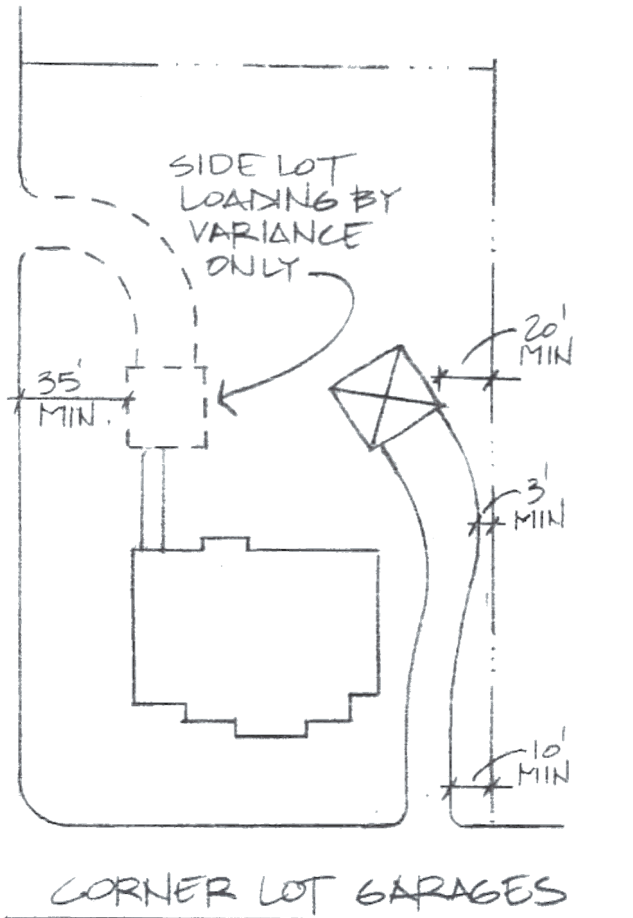
Building lines have been established in the Estates section to provide a more open and spacious environment, by keeping structures farther back from streets.

The front building line on all lots is sixty feet (60'). The rear building line on all lots is forty feet (40'). The interior side building line on all lots is twenty feet (20'). The side building line on corner lots is thirty-five feet (35').

No structure, including attached garages, may be built past the 40' rear setback line.

— GOLF COURSE —





SITE LAYOUT

Residential Driveway/Garage Placement for The Estates of Gleannloch Farms

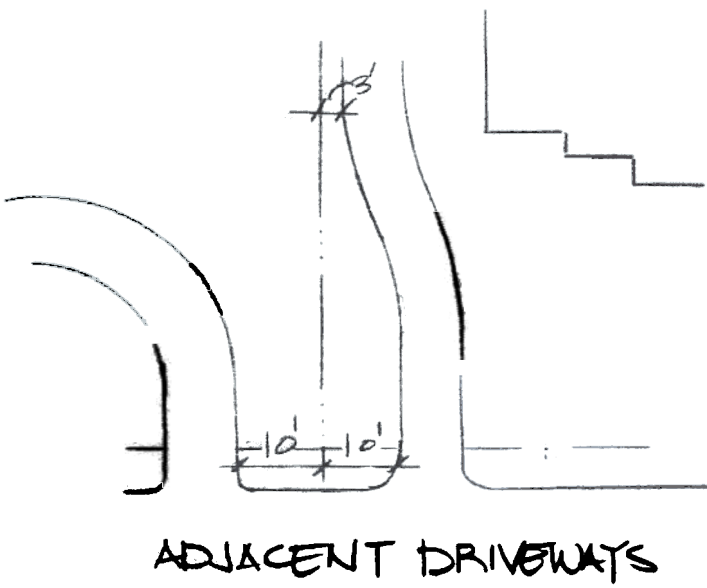
To achieve the exclusive Estate Lot/Custom Home concept for the Estates of Gleannloch Farms, the relationship of garages to the residence and adjoining lots, street rights of way and the golf course is of special importance. Designs that eliminate or minimize the public view of garages are preferred. Front loaded garages are strongly discouraged. Gleannloch Farms Estate lots are of a depth and width that should accommodate rear or side entry for attached or detached garages. Garages, where visible to the public, shall have separate doors for each car. Double doors may be approved at the discretion of the ARC.

Side loaded garages should be set back at least ten feet (10') from the principal elevation of the house. At the discretion of the Architectural Review Committee, side loaded garages protruding in front of the principal elevation of the residence may be approved on a lot by lot basis.

Where it is necessary to have a front loaded garage, the garage must be set back at least twenty-five feet (25') from the principal elevation of the house. In addition, an architecturally compatible roof overhang (porte cochere) a minimum of eighteen feet (18') in depth is required. To minimize and lessen the impact of front loaded garages, the location of side yard fences, the use of wing walls and other screening devices may be considered for lot specific ARC approval.

Rear garages are not permitted on any lots backing the golf course.

The following is a list by lot and block number dictating location of residential driveways and garages. Locations of driveways and garages have been determined for reasons of aesthetics, vehicular circulation and safety.



The designation of left, right or optional is determined by viewing the lot from the street right-of-way facing the lot. Side lot loading is not permitted. A variance request, in writing, may be considered for certain lots having frontage on two sides if the garage is set back from the right-of-way thirty-five feet (35').

Left Side: *Block 1* - lots 1, 10, 14, 21

Block 2 - lots 5, 13, 18

Block 3 - lots 3, 6, 9

Right Side: *Block 1* - lots 6, 9, 16, 25, 26, 30

Block 2 - lot 1, 14

Block 3 - lot 4

Optional: *Block 1* - lots 2, 3, 4, 5, 7, 8, 11, 12, 13, 15, 17, 18, 19, 20, 22, 23, 24, 27, 28, 29

Block 2 - lots 2, 3, 4, 6, 7, 8, 9, 10, 11, 12, 15, 16, 17

Block 3 - lots 1, 2, 5, 7, 8

Side Lot loading: (variance request may be considered with 35' garage setback)

Block 1 - lots 6, 14, 16, 21, 25, 30

Block 2 - lots 1, 5, 13, 14, 18

Block 3 - lots 4, 6, 9

There shall be no driveway access to Champions Forest Drive from:

Block 1 - lot 1

Block 3 - lots 1, 2, 3

****Driveway side designations apply only to lots without circular drives.

Driveway construction may be of asphalt or concrete construction, however, concrete pavers or stamped concrete are the preferred treatments. Asphalt driveways must have a border. Acceptable border treatments include: concrete pavers, stone or a concrete band (min. 4" x 4"). No gravel driveways are permitted.

Driveways may be no closer than ten feet (10') to side property lines at the point where they enter the property from the street. They may be transitioned back to the side property line, but can be no closer than three feet (3'). Garages must be a minimum of

20' from side property line, but at least 25' is preferred. Corner lot garages must be set back 35' from street.

Corner lots may not have side facing garages.

Walks extending from the front entrance of the residence must return to the driveway, and are not permitted to run directly to the street. Corner lots with side loaded garages may apply for a variance to this requirement. In the event a variance is granted, the walk may stretch from front of residence to the street, but must conform to culvert details shown later in this document.

SITE LAYOUT

Fencing • The Estates of Gleannloch Farms

The developer shall be responsible for installing perimeter fencing including wood posts, rails and pickets, stone columns and iron fencing in all landscape reserves (except along golf course), and at the rear and sides of the following lots.

Block 1 - lot 1 (side only)

Block 3 - lots 1, 2, 3 (rear only)

The builder shall be responsible for installing a 48" high iron fence on lots siding or backing the golf course for the following lots. A 6' high iron fence shall extend from a minimum of ten feet (10') behind front of residence to the iron fence at the rear of the property. A 48" high iron fence shall extend from the rear property line to a minimum distance of forty feet (40') towards the front of the property.

Block 1 - lots 1 (rear only), 2, 3, 4, 5, 7, 8, 9, 10, 18, 19, 20, 22, 23, 27, 28, 29, 30

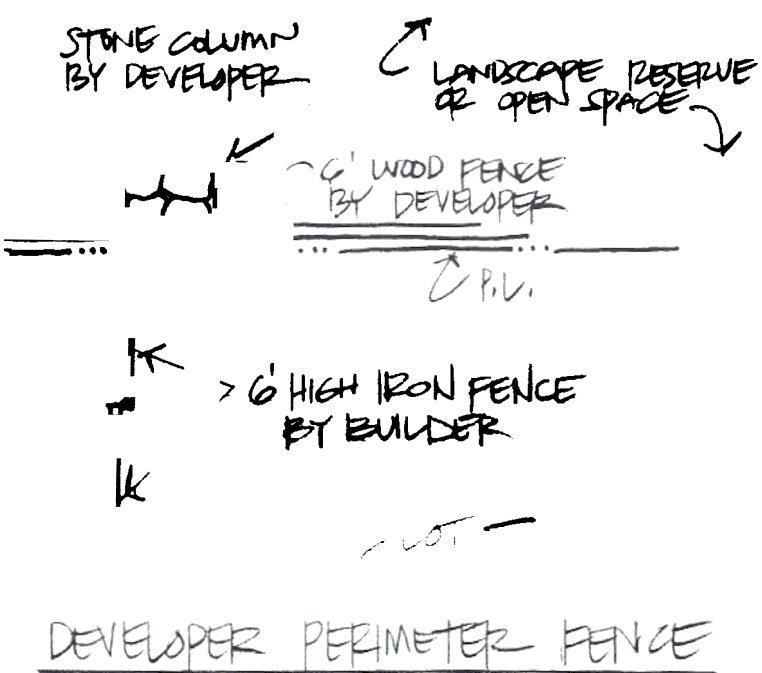
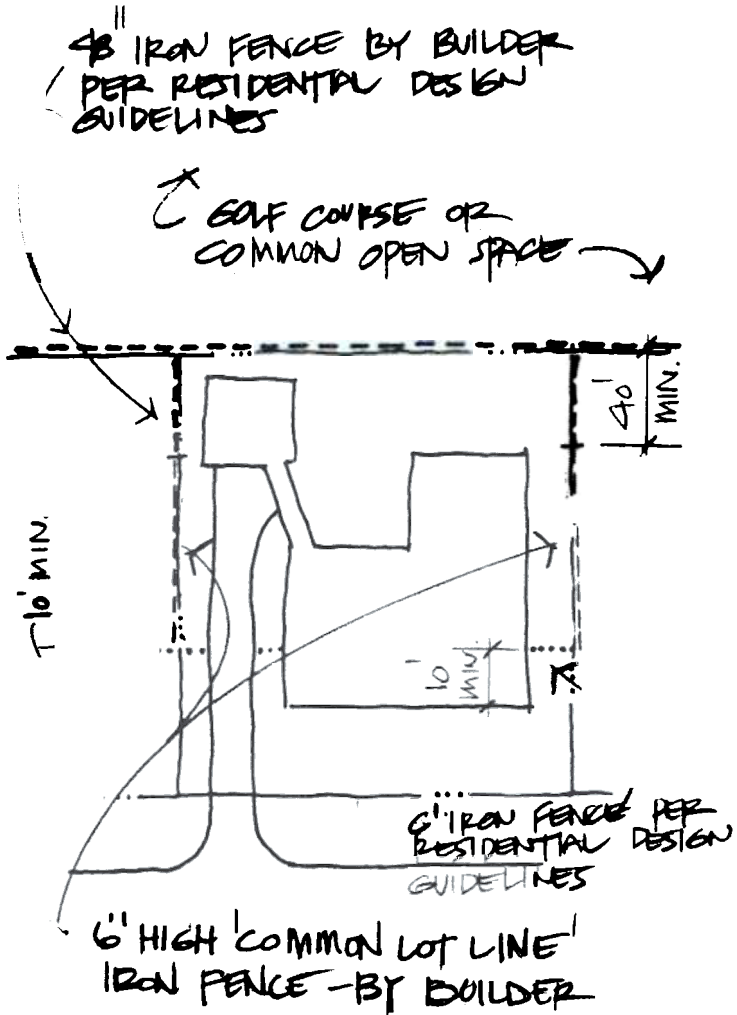
Block 3 - lots 3 (optional), 4, 7, 8, 9

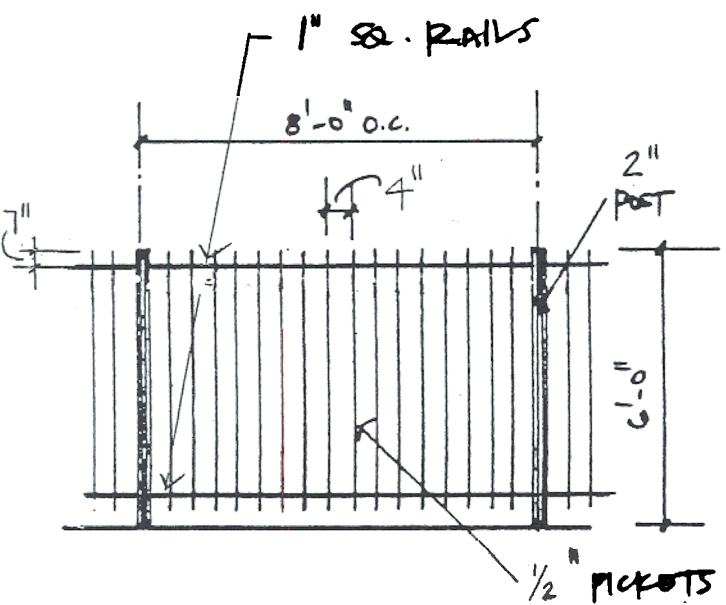
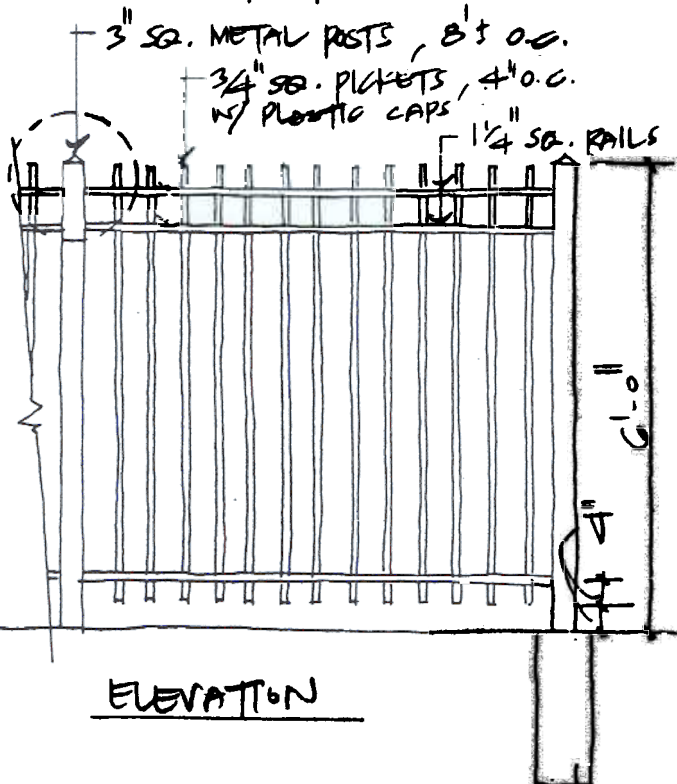
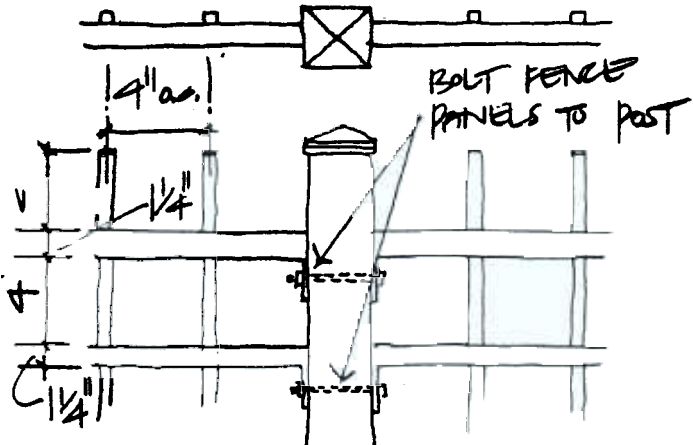
Lots 24, 26, 27, block 1 may have wood fence at the back of the lots to screen Drill Site.

All 6' iron fence on side lot lines of corner lots and parallel to front building setback lines are to match the iron fence detail shown on page 22 of the Gleannloch Farms Residential Design Guidelines.

All 48" iron fence adjacent to golf course, or greenbelts shall match the iron fence detail shown on page 17 of the Gleannloch Farms Residential Design Guidelines.

All other lots are required to have builder installed 6' 'common lot line' iron fencing.





SITE LAYOUT

Wrought Iron Fence

Wrought iron fences are to be installed as to the design standards illustrated. Panels bolted instead of welded to posts are required, for ease of maintenance. Iron should be primed and painted semi-gloss black. Attach panels to stone columns using lead expansion anchors and galvanized bolts.

Set iron posts in concrete footing.

All fences other than common lot line fences are to be constructed as shown top left. Common lot lines may have fencing built to design shown bottom left. No other wrought iron fence designs will be approved.

LANDSCAPE

**Minimum Residential landscaping requirements •
Estate lots**

TREES

Four machine dug and two thirty gallon (30 gal.) container grown trees selected from the plant material list (preferred specimen trees) in the Landscape section of the Gleannloch Farms Residential Design Guidelines are required on non-wooded lots in the Estates section. It is recommended that at least one of the required trees be a loblolly pine or oak tree. The required trees must be a minimum of 4" caliper. When lots front and side on two streets, there shall be an additional three trees for side yard. Lots adjoining golf course, lakes or open spaces require three additional trees in rear or side yard. Pine trees are preferred, but the ARC may consider other large trees of equal size from the approved plant list, for variances.

SHRUBS

Estate lots require the planting of a minimum of 80 small one gallon shrubs and 45 large five gallon shrubs. Plants used as minimum requirements shall be selected from the approved plant list.

Planting beds are to be curvilinear with the shrubs massed in tiers - smaller shrubs in the front of the bed. Groupings of shrubs of the same species provide a substantial look. A single row of foundation planting is not acceptable. Radius beds 10' minimum from building and vary widths of beds. Mulch all beds with 2" shredded pine bark. No gravel or rock of any size or color is permitted for use or substitution for shrubs, ground cover, mulch or grass lawns. Specimen boulders and stone borders are permitted.

Entire lot is to be solid sod St. Augustine grass, up to center line of ditch at front of lots. Builder must desilt ditches prior to sodding to prevent altering the existing flowline. Builder will hydroseed ditch from flowline to street with Bermuda grass.

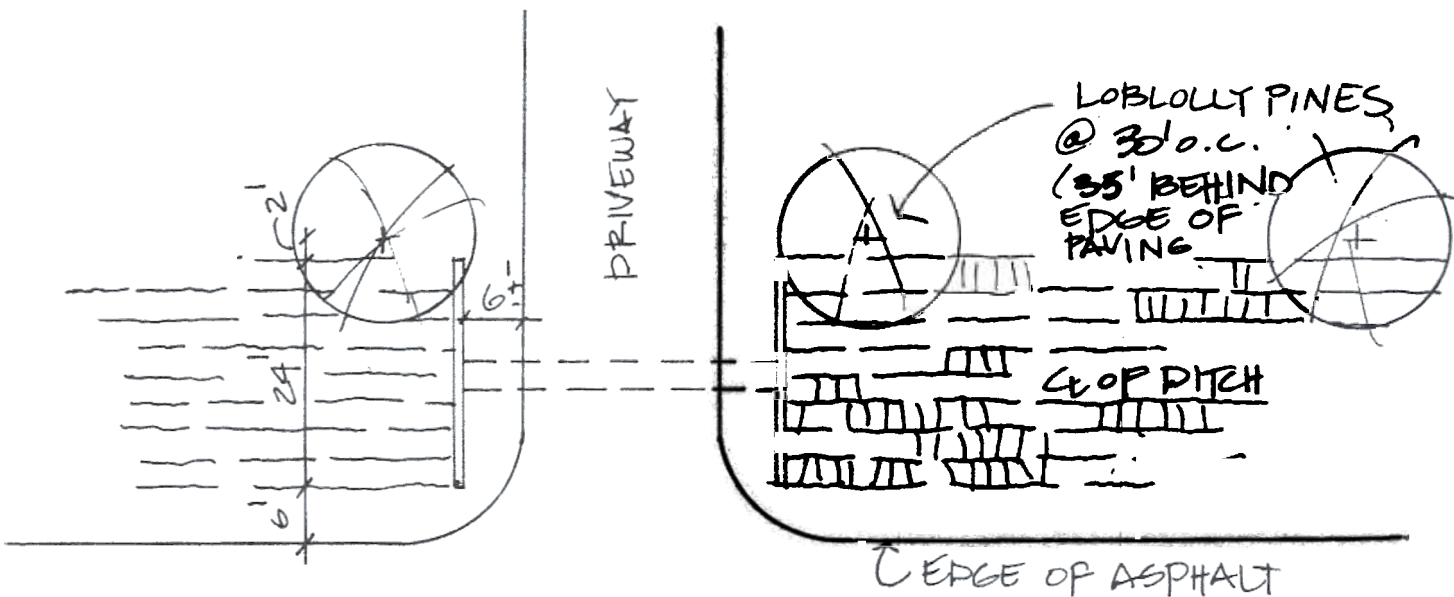
SITE LAYOUT

Street Trees

In order to preserve the special character of The Estates of Gleannloch Farms, each lot requires the planting of street trees (Loblolly Pines) to continue the existing rows of pines.

Loblolly Pines are to be machine dug trees by the Builder and placed thirty feet (30') on center along the entire street frontage of the property. Street trees are to be placed according to the sketch below.

Homeowner is required to maintain all lot area between the front of the residence and the street (including ditches).



SITE LAYOUT

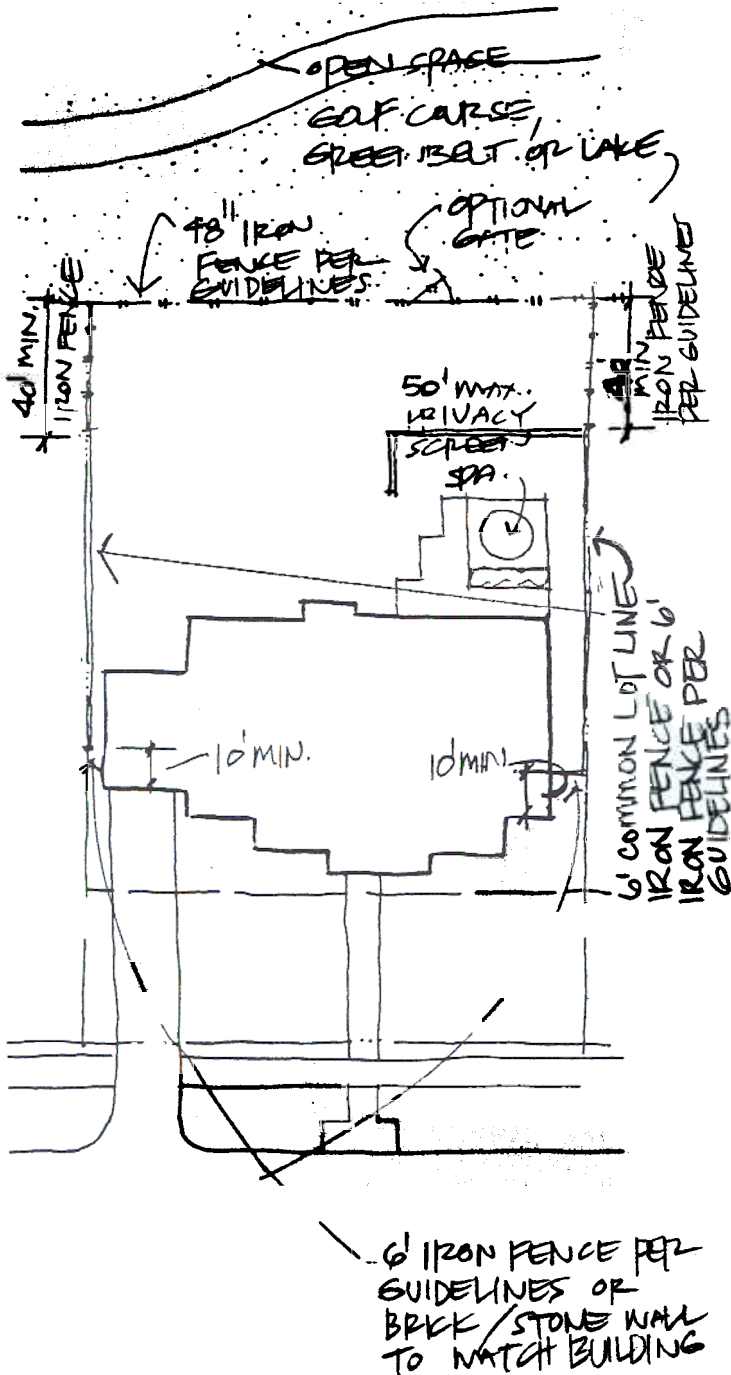
Greenbelt Lots

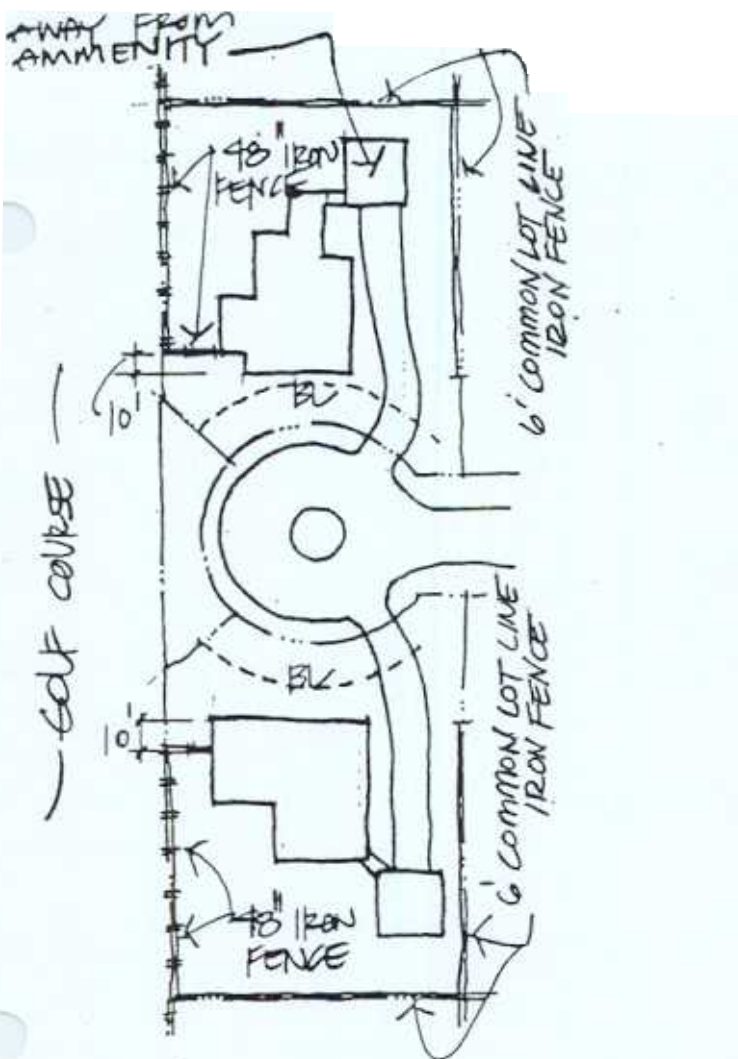
Lots backing onto greenbelts, golf courses and other areas designated as common open space are to be fenced with wrought iron of a standard design as shown in the Residential Design Guidelines. This fencing is required to promote a feeling of spaciousness for the lots and the open space. These lots may have direct access to the open space via gates in the iron fence. Gates may be installed at the option of the builder or lot owner. Rear and side lot fencing is further defined in each neighborhood's supplemental guidelines.

The back yards of these lots must be treated in the same way as the fronts of the lots. Entire yard must be solid sod St. Augustine grass. A minimum of 40 small shrubs (one gallon) and 20 large shrubs (5 gallon) is also required. The back yards will be in full view of residents, guests and golfers. Provisions are made in these guidelines for privacy fencing or screening.

To open up the greenbelt and to avoid creating an alley effect, rear and side lot lines are required to be fenced with a 48" high iron fence using the design illustrated in the fence section. This fence is to be placed on the rear lot line and return no less than forty feet (40') down side lot lines. Certain lots may be further defined in the Supplemental Guidelines.

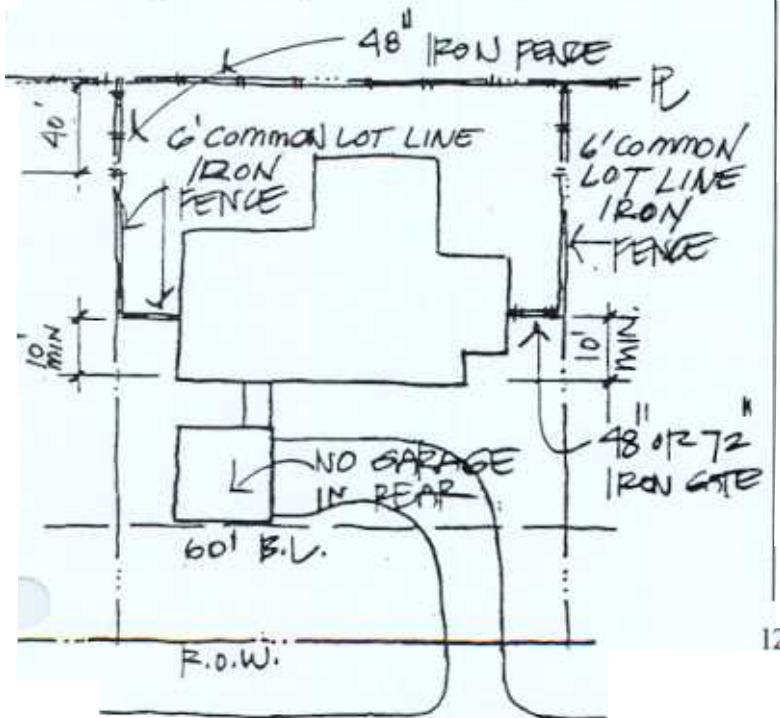
Privacy fencing is permitted, but must be done according to the following guidelines. Privacy screens must be set back a minimum of 40' from rear property line and must not be more than 50' in length parallel to the rear property line. Dog kennels, storage yards, wood piles, etc. are not to be visible from public view. Creating and maintaining a backyard that is viewed from open space and from nearby residences offers the chance for special design concepts.





LOTS SIDING ON GOLF COURSE

LAKE/GOLF COURSE



LOTS BACKING ON GOLF COURSE

SITE LAYOUT

Golf Course Lots

Lots adjacent to the Gleannloch Farms Golf Course are to be developed to derive the full potential of open space and views of golfing activities. Therefore the residences and grounds should be equally pleasing when viewed from the golf course.

The golf course has been designed using generally accepted criteria for golf course subdivisions, with adequate distances between fairways and residential lots. Design consideration for buildings, site layout and landscape planting should be addressed to protect against the possibility of errant golf balls. Large pane glass windows are discouraged. If a great amount of glass is desired, it should be in smaller, easier to replace panes. Strategic siting and tree planting can be accomplished for additional safeguards. Golf course lots will have a 60' front setback, a 40' rear setback and a 20' interior side setback.

Fencing of property lines adjacent to the golf course must be done according to the design criteria, illustrated in the fence section, by the builder or lot owner.

No structure, including a detached garage, may be built past the 40' rear setback line.

No detached garages are permitted on golf course lots.

GRAPHICS

Custom Home Builder Sign

One sign per single family lot allowed until occupancy.

Information to be conveyed:

Gleannloch Farms Logo

Name of Builder

Phone Number - Central Sales Office

24" x 32" sign panel may use Builder's name and/or logo or trademark. Colors and graphics are to be submitted to Architectural Review Committee.



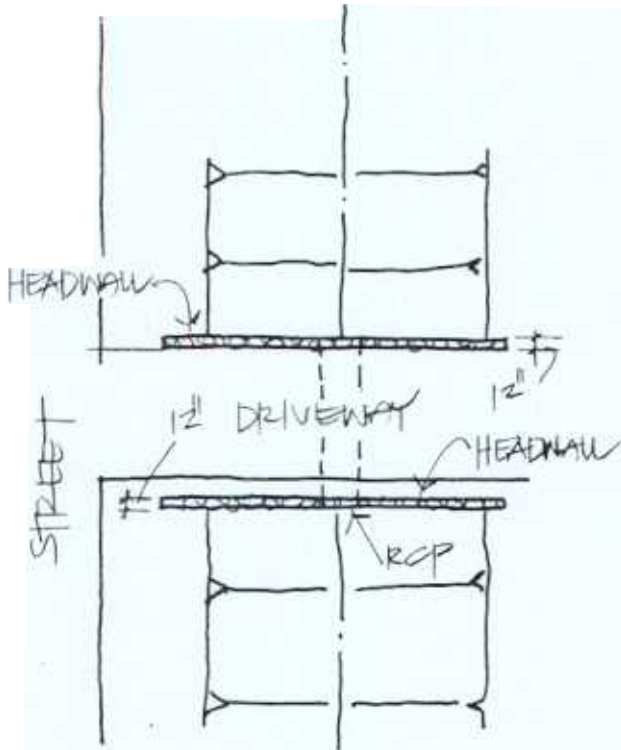
SITE LAYOUT

Culvert Detail

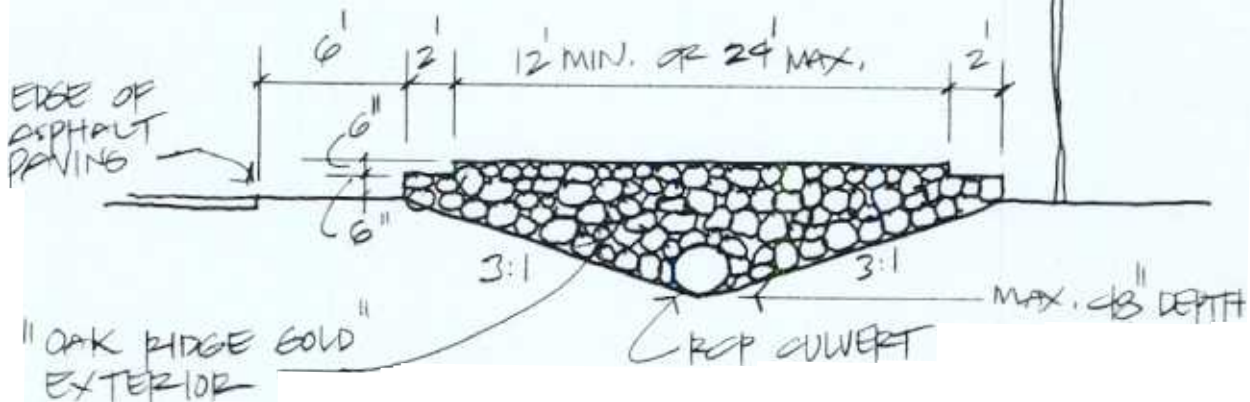
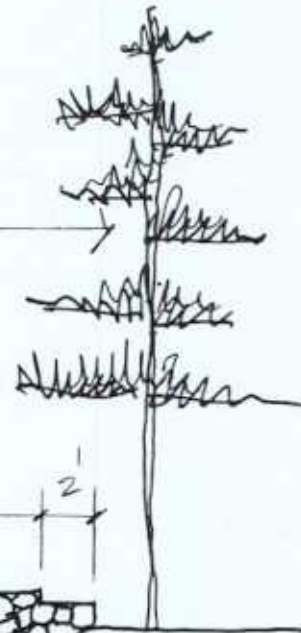
A system of open ditches will run throughout Gleannloch Farms Section Six – The Estates. Each driveway shall have a culvert with "Oak Ridge Gold" facing as shown.

Circular drives must have a stone culvert at each point of access to the lot.

Any pipes carrying water from lot to ditches at front of lots must terminate at driveway culvert. Pipe must be cut off flush with slope and faced with Oak Ridge Gold Stone so that no exposed pipe is visible from the street.



LOBLODY PINES
32' BEHIND EDGE
OR PAVING AT
30' O.C.



ARCHITECTURE

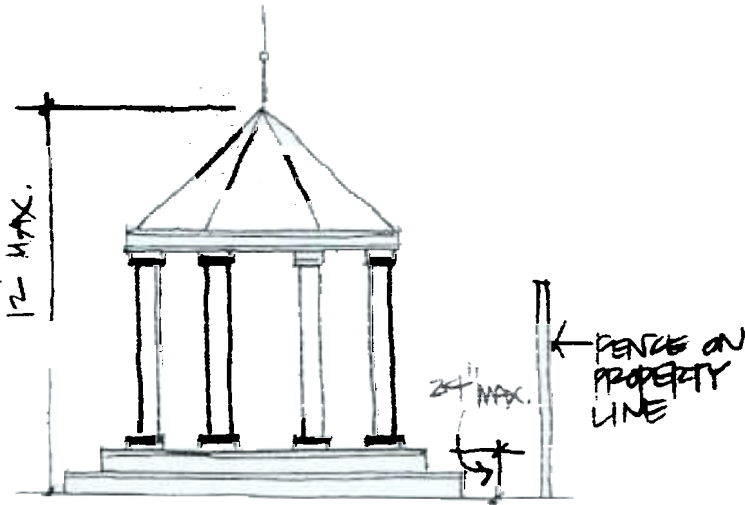
Gazebos/Shade Structures

Freestanding structures for shade and ornamentation may be placed in rear and side yards behind fences. Gazebos may be octagonal, hexagonal, round or square with conical or hip type roofs less than 12' high, measured from the ground plane.

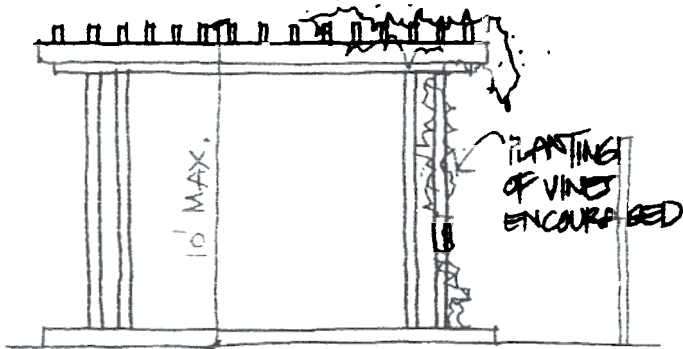
Associated decks or paved slabs shall not be more than 2' above the ground plane.

Arbor or trellis type shade structures are also permitted but shall not exceed 10' in height. The roof of these structures may not be used as an elevated deck for outdoor seating.

Gazebos/shade structures are not permitted closer than 20' from any property line and shall not encroach on any utility easement.



GAZEBO



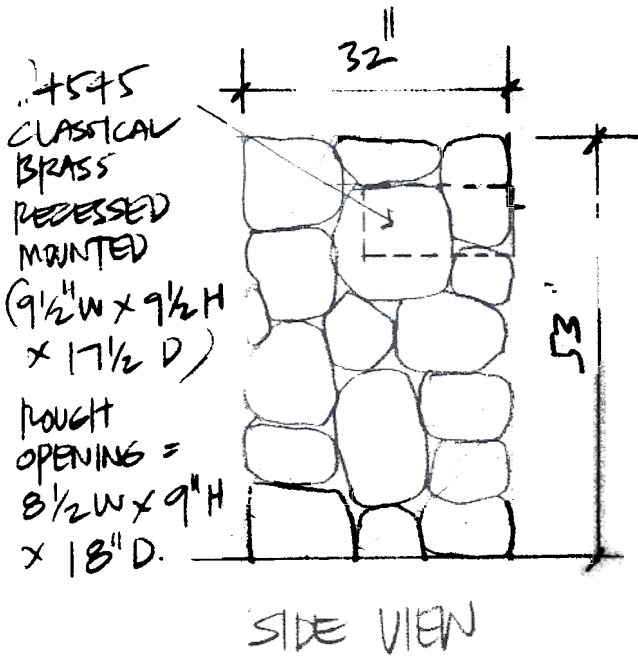
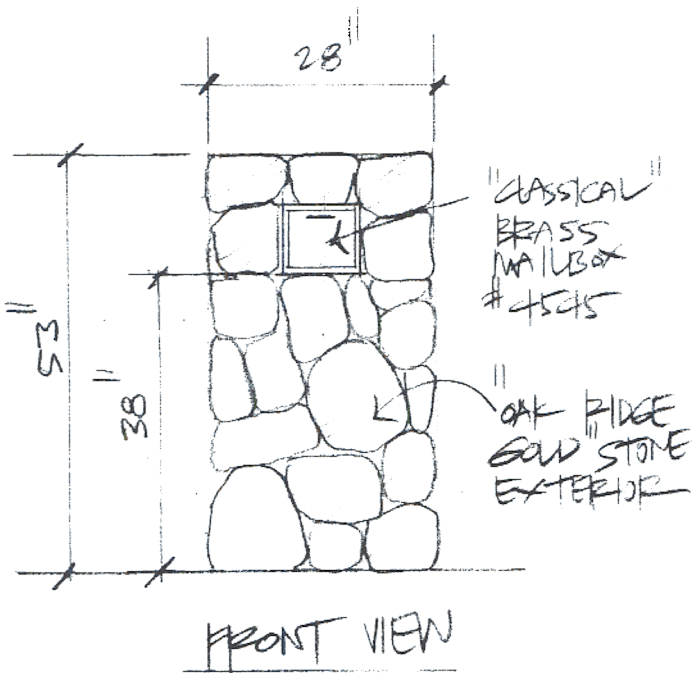
SHADE STRUCTURE

ARCHITECTURE

Mailboxes

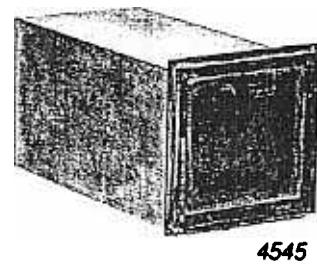
All Section Six residences are to be of the design shown at left. A 53" high stone column with classical brass mailbox. Mailbox available thru "Salsbury Industries" phone # 1-800-725-9393
 1010 East 62nd Street
 Los Angeles, CA 90001

1-800-624-5269



NOTE NO "ROUNDED" COLUMN TOPS

MODEL 4480



4545 Classical Brass - recessed mounted

- 9-1/2" W x 9-1/2" H x 17-1/2" D
- rough opening: 8-1/2" W x 9" H x 18" D
- 15 lbs.

GLEANNLOCH FARMS SECTION SIX REVIEW PROCESS

I. Architectural Review Committee

The design for each residence in Gleannloch Farms must be approved in writing by the ARC before construction of the residence, or other modification or improvement can begin. The ARC consists of members who work in conjunction with the Declarant and the Association to uphold the architectural control standards for Gleannloch Farms. The ARC is committed to ensuring a high level of design quality within the community by reviewing residential and landscape design submissions for Gleannloch Farms residences. This review process is intended to correct problems with submitted designs and prepare them for acceptance into the community.

The ARC meets on a biweekly basis to review design submittals. Initial contact between the ARC and the party submitting the design shall be made within four (4) weeks of the meeting at which that design is to be reviewed and a decision shall be transmitted within a maximum of forty five (45) days.

Each plan (2) will be accompanied with a \$250.00 review fee check made payable to the GFCIA Inc. In addition, for each lot within the subdivision, two (2) copies of the plot plan must be submitted for approval, along with a \$100.00 check (\$25 review fee and \$75 conditional compliance letter fee). The deadline for re-submittals is the Thursday (at 6:00 pm) before the Tuesday (9:00am) meeting. The plan number, elevation, lot, block, section, subdivision, and building lines must be indicated on the submittal. (schedule is subject to change) Submittals shall be sent to the attention of the:

Gleannloch Farms Community Association, Inc.
9575 Katy Fwy. , Suite 130
Houston, Texas 77024-1453
(713) 932-1122 Fax (713) 932-6059

II. Notice of Approval

The design for each residence must be approved **in writing** before construction of the new residence can begin. Construction begun prior to approval is in violation of The Declaration of Covenants, Conditions and Restrictions for Gleannloch Farms, and may be subject to fines, change or removal. Deviation from approved construction documents during construction (without written approval by the ARC) constitutes a violation of the Declaration of Covenants, Conditions and Restrictions. **On the ARC's authority, corrections of such deviations will be required. Approvals/Disapprovals will not be discussed over the phone.**

6. Play Equipment
7. Mechanical Equipment
8. Window Film
9. Landscape Additions
10. Paint

IV. Fine Schedule

A fine schedule has been adopted by the GFCA, Inc. Notice is considered to be given upon submittal of the first plan.