



Section Eighteen  
**The Bluff at Gleannloch Farms**

**RESIDENTIAL DESIGN GUIDELINES**

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Gleannloch Farms Community Association Inc.

## FOREWORD

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Gleannloch Farms is being developed as a master planned residential community. This document is presented as a minimum set of development guidelines and standards for Gleannloch Farms Section Eighteen - The Bluff. The intended use is to provide an understanding of responsibilities of the Developer and the Builder, to develop a framework to illustrate and define design objectives and requirements to create a unified, harmonious setting for divergent lifestyles and tastes inherent in a planned development.

These guidelines are supplemental to The Declaration of Covenants, Conditions and Restrictions, and are to be used by the Architectural Review Committee (ARC) in review of plans submitted, as required by builders. Noncompliance with these guidelines is grounds for disapproval of plans. These guidelines are also for use as a standard for future compliance to maintain the integrity of the community.

Illustrative examples and descriptions are meant to insure an orderly, well maintained sense of an attractive environment for the residents of Gleannloch Farms.

Gleannloch Farms is located in Northwest Harris County, Texas in the extra-territorial jurisdiction of the City of Houston. Rules and regulations of these entities supercede the residential guidelines.

## SITE LAYOUT

### Residential Driveway/Garage Placement for Section Eighteen – The Bluff at Gleannloch Farms

The following is a list by lot and block number dictating location of residential driveways and garages. Locations of driveways and garages have been determined for reasons of aesthetics, vehicular circulation and safety.

The designation of left, right or optional is determined by viewing the lot from the street right-of-way facing the lot. Side lot loading is not permitted. A variance request, in writing, may be considered for certain lots having frontage on two sides if the garage is set back from the right-of-way, twenty feet (20').

Left Side:     *Block 1* - lot 1  
                  *Block 2* - lots 11, 24, 31

Right Side:    *Block 1* - lot 20  
                  *Block 2* - lots 1, 12, 18, 25, 28

Optional:       *Block 1* - lots 2, 3, 4, 5, 6, 7, 8, 9, 10,  
                  11, 12, 13, 14, 15, 16, 17, 18, 19  
                  *Block 2* - lots 2, 3, 4, 5, 6, 7, 8, 9, 10,  
                  13, 14, 15, 16, 17, 19, 20, 21, 22, 23,  
                  26, 27, 29, 30

**\*\*Side lot loading is not permitted in this section.**

Rear garages are not permitted on the following  
lots:

*Block 2* - lots 5, 6, 7

# SITE LAYOUT

## Fencing • The Bluff at Gleannloch Farms

The developer shall be responsible for installing perimeter fencing including wood posts, rails and pickets, stone columns and iron fencing in all landscape reserves (except along golf course), and at the rear and sides of the following lots.

*Block 1* - lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 12, 13, 14, 15, 16, 17, 18, 19, 20

*Block 2* - 1, 2, 3, 4, 5

The builder shall be responsible for installing perimeter fencing of wood posts, rails and pickets with the good side facing out in a like manner for the following lots.

*Block 2* - lots 1(side), 11, 12, 24, 25, 28, 31

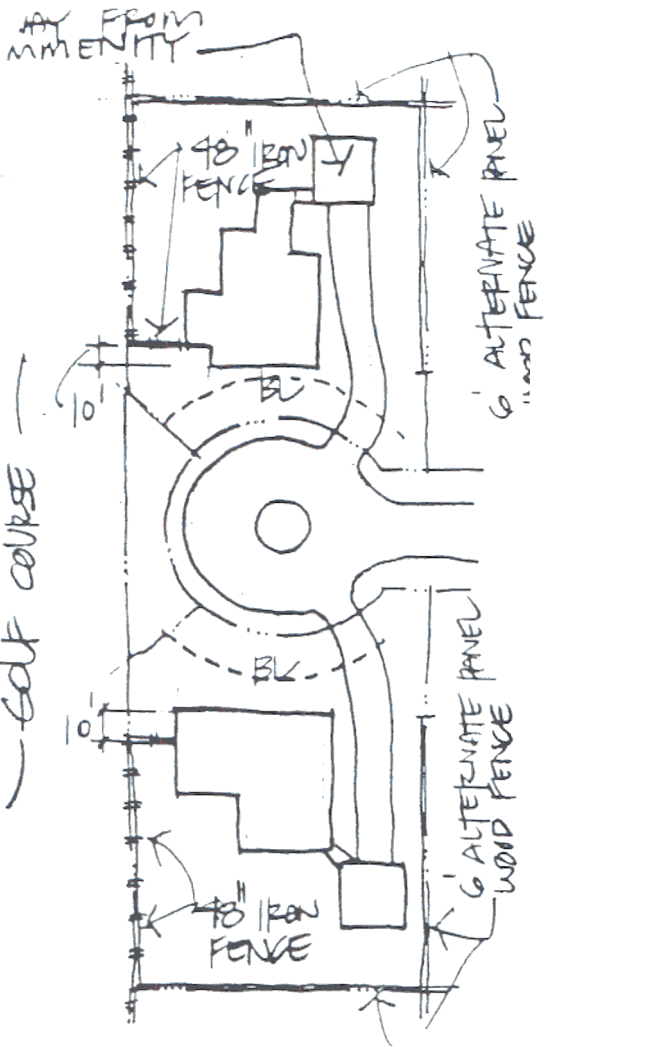
The builder shall be responsible for installing a 48" high iron fence on the following lots.

*Block 2* - lots 5, 6, 7, 17, 18, 30, 31

Side lot fencing on interior lots shall extend from the rear property line to a maximum distance of 10' behind the front of the residence.

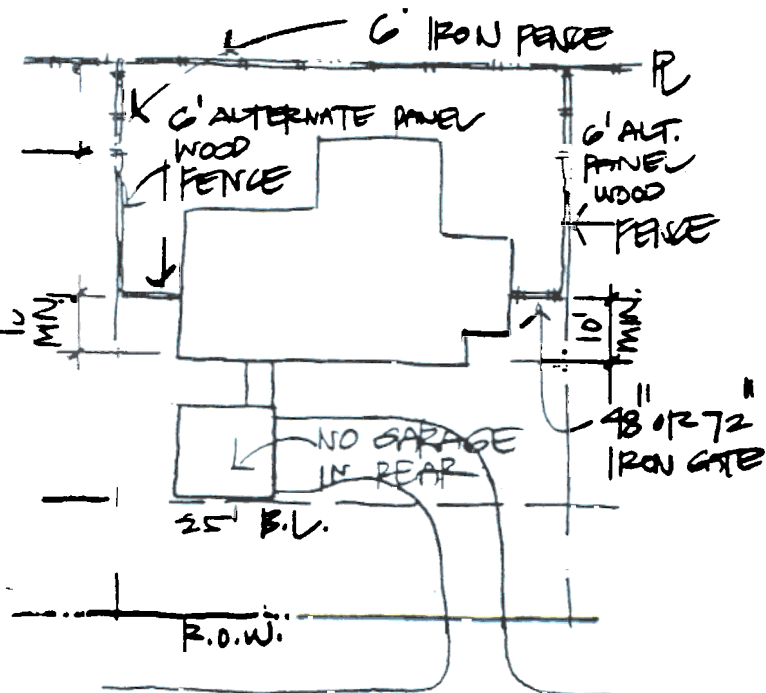
All other interior, rear and side fencing shall be the responsibility of the builder. Wood fences in interior lots shall be constructed using alternating panels as illustrated.

The developer shall be responsible for installing a 48" high iron fence at the end cul de sac of Flaxen Manor Court.



LOTS SIDING ON GOLF COURSE

LAKE/GOLF COURSE



LOTS BACKING ON GOLF COURSE

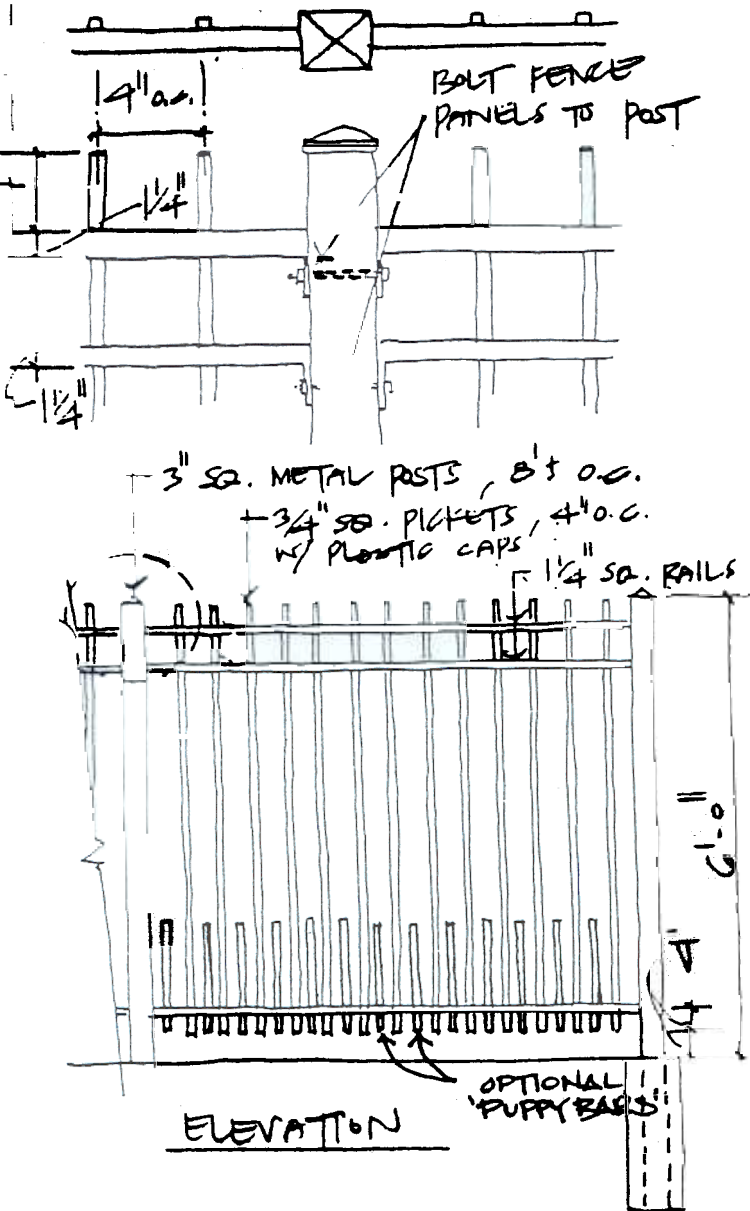
# SITE LAYOUT

## Wrought Iron Fence

Wrought iron fences are to be installed as to the design standards illustrated. Panels bolted instead of welded to posts are recommended, for ease of maintenance and access, but welded panels are acceptable. Iron should be primed and painted.

Set iron posts in concrete footing.

All fences are to be designed as shown at left. No other wrought iron fence designs will be approved.



# SITE LAYOUT

## Greenbelt Lots

Lots backing onto greenbelts, golf courses and other areas designated as common open space are to be fenced with wrought iron of a standard design as shown in the Residential Design Guidelines. This fencing is required to promote a feeling of spaciousness for the lots and the open space. These lots may have direct access to the open space via gates in the iron fence. Gates may be installed at the option of the builder or lot owner. Rear and side lot fencing is further defined in these supplemental guidelines.

The back yards of these lots must be treated in the same way as the fronts of the lots. The entire yard must be solid sod St. Augustine grass and have an irrigation system installed. A minimum of 40 small shrubs (one gallon) and 20 large shrubs (5 gallon) is also required. The back yards will be in full view of residents, guests and golfers. Provisions are made in these guidelines for privacy fencing or screening.

To open up the greenbelt and to avoid creating an alley effect, rear and side lot lines are required to be fenced with a 48" high iron fence using the design illustrated in the fence section. This fence is to be placed on the rear lot line and return no less than forty feet (40') down side lot lines. Certain lots may be further defined in the Supplemental Guidelines.

Privacy fencing is permitted, but must be done according to the following guidelines. Privacy screens must be set back a minimum of 40' from rear property line and must not be more than 50' in length parallel to the rear property line. Dog kennels, storage yards, wood piles, etc. are not to be visible from public view. Creating and maintaining a backyard that is viewed from open space and from nearby residences offers the chance for special design concepts.

*With  
standard wood  
perimeter fence  
or easement  
fence  
Common  
Also see 28  
7/30/03*

# LANDSCAPE

## Minimum Residential Landscaping Requirements • Lots 65' Wide & Under

### TREES

Two machine dug and 2 thirty gallon (30 gal.) container grown trees selected from the plant material list (preferred specimen trees) in the Landscape section of the Gleannloch Farms Residential Design Guidelines are required on lots 65' and under. Two thirty gallon (30 gal.) trees or one machine dug are required in the rear of all lots backing the golf course. It is recommended that at least one of the required trees be a loblolly pine or oak tree. The required trees must be a minimum of 4" caliper. When lots front or side on lake, open spaces or golf course, 2 additional trees are required in the rear or side. Pine trees are preferred, but other large trees of equal size, from the approved plant list, may be considered for variance approval by the ARC.

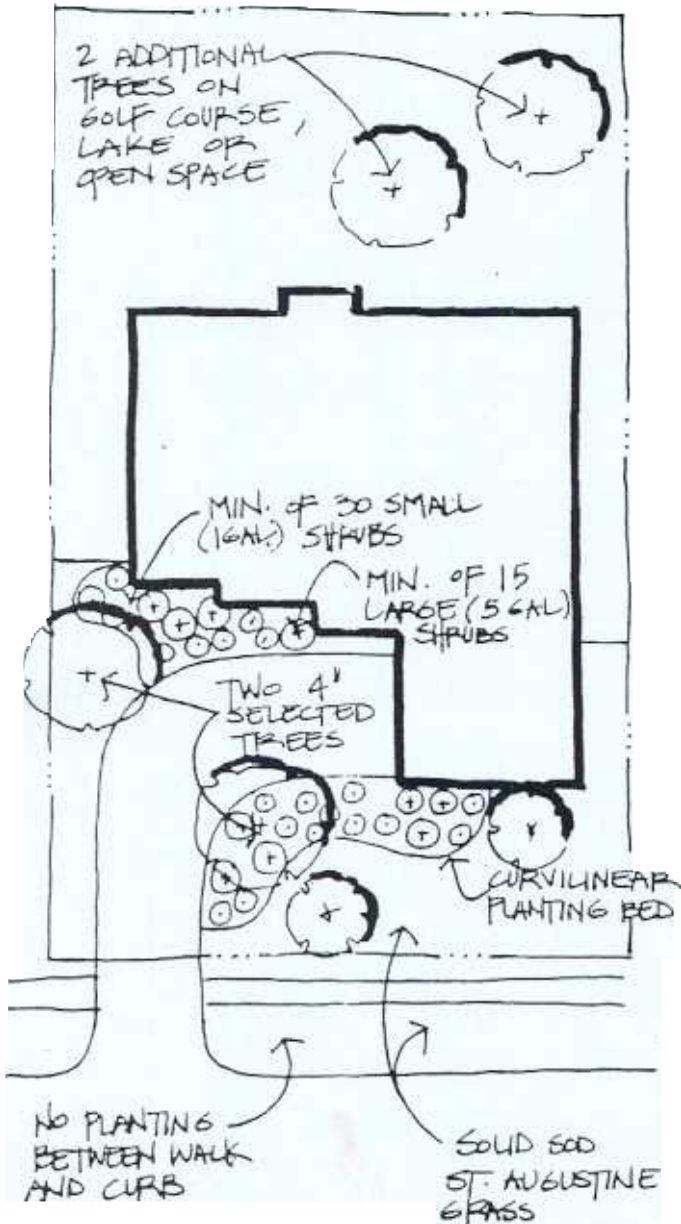
### SHRUBS

Lots 65' wide and under require the planting of a minimum of 30 small one gallon shrubs and 15 large five gallon shrubs. A single row of foundation planting is not acceptable. A portion of a planting bed is to extend a minimum of 8'-0" from the house foundation. Golf course lots are to have an additional 30 small shrubs and 15 large shrubs in the rear yard. Shrubs are to be arranged in tiers - larger species and 5 gal. Shrubs are to be placed at the rear of planting beds, smaller species and 1 gal. shrubs are to be planted on the front edge of planting beds. (Mulch all planting beds with 2" shredded pine bark.)

No gravel or rock of any size or color is permitted for use or substitution for shrubs, ground cover, mulch or grass lawns. Specimen boulders and stone borders are permitted.

All grass visible from the street is to be St. Augustine, (solid sod).

Plants used as minimum plant requirements shall be selected from the approved plant list.



# LANDSCAPE

## Minimum Residential Landscaping Requirements • Lots 70' - 75' Wide

### TREES

Three machine dug and two thirty gallon (30 gal.) container grown trees selected from the plant material list (preferred specimen trees) in the Landscape section of the Gleannloch Farms Residential Guidelines are required on lots 70' - 75' wide. Two thirty gallon (30 gal.) trees or one machine dug are required in the rear of all lots backing the golf course. It is recommended that at least one of the required trees be a loblolly pine or oak tree. The required trees must be a minimum of 4" caliper. When lots front and side on two streets, there shall be an additional three trees for side yard. Lots adjoining golf course, lakes or open spaces require two additional trees in rear or side yard. Pine trees are preferred, but other large trees of equal size from the approved plant list, may be considered for variances by the ARC.

### SHRUBS

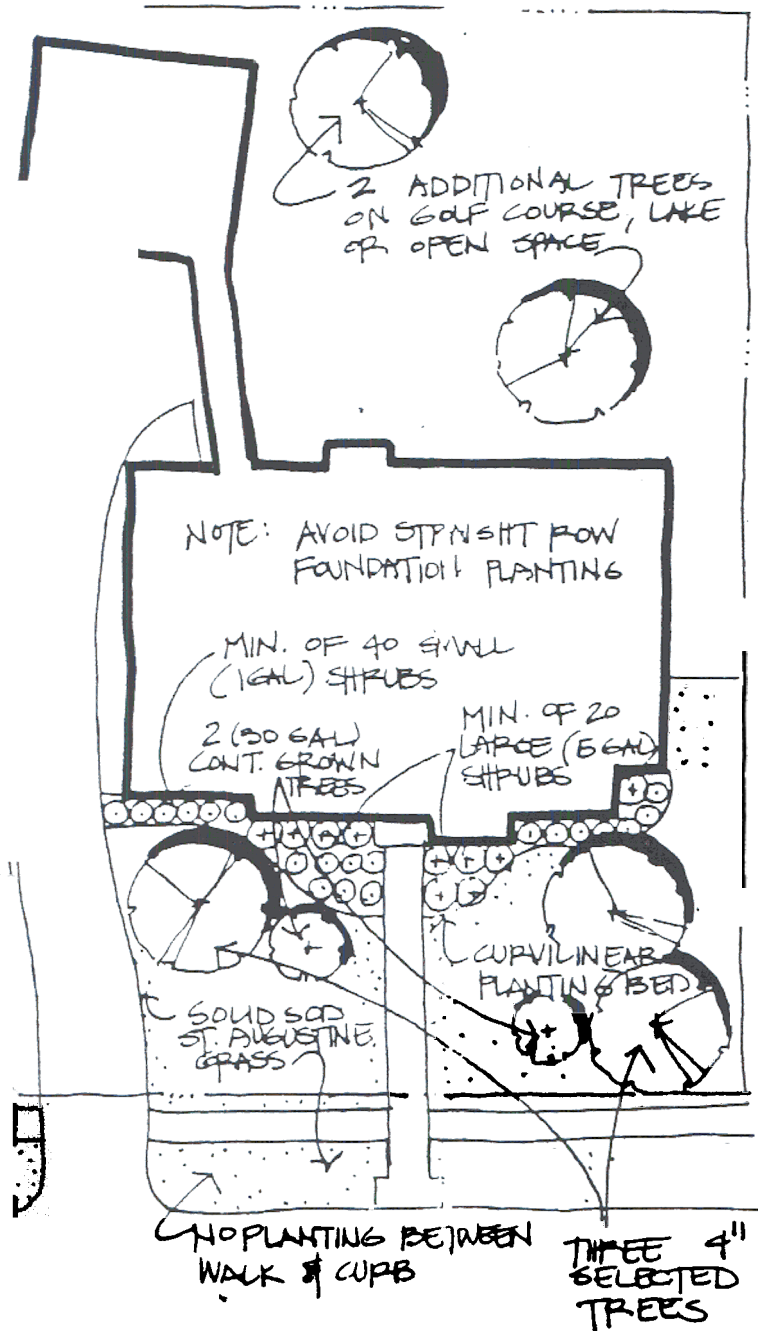
Lots 70'-75' wide require the planting of a minimum of 40 small one gallon shrubs and 20 large five gallon shrubs. Golf course lots are to have an additional 30 small shrubs and 15 large shrubs in the rear yard.

Planting beds are to be curvilinear with the shrubs massed in tiers - smaller shrubs in the front of the bed. Groupings of shrubs of the same species provide a substantial look. A single row of foundation planting is not acceptable. Radius beds 10' minimum from building and vary widths of beds. Mulch all beds with 2" shredded pine bark.

No gravel or rock of any size or color is permitted for use or substitution for shrubs, ground cover, mulch or grass lawns. Specimen boulders and stone borders are permitted.

All grass visible from the street is to be St. Augustine, (solid sod).

Plants used as minimum requirements shall be selected from the approved plant list.





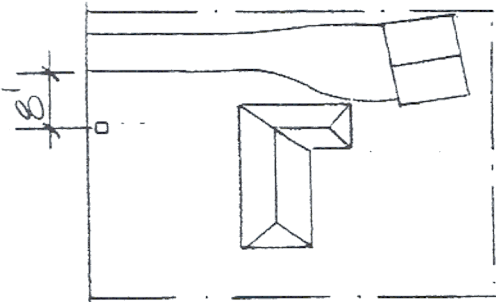
# ARCHITECTURE

## Mailboxes

All mailboxes are to be of the design shown at left, model #4430 "antique brass mailbox" mounted on #4895 in-ground mounted post. Mailbox and post available through:

"Salsbury Industries" phone # 1-800-MAILBOX  
1010 East 62<sup>nd</sup> Street  
Los Angeles, CA 90001  
[www.mailbox.com](http://www.mailbox.com)

Mailbox and post are both to be antique brass by manufacturer.

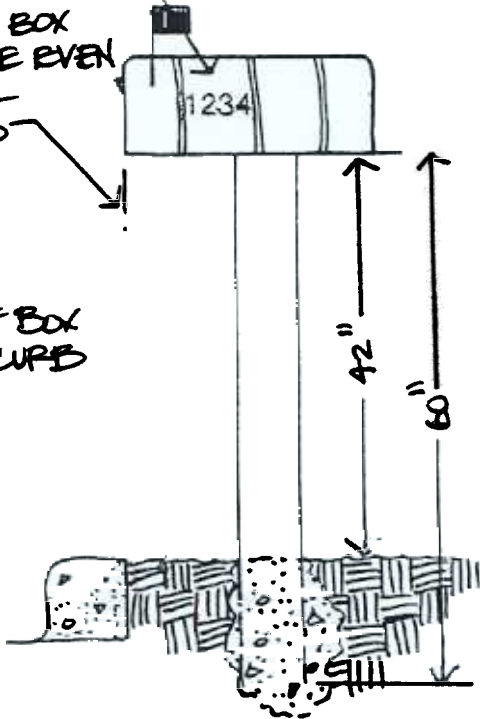


CENTER OF MAILBOX  
POST TO BE 8' FROM  
EDGE OF DRIVEWAY

IF DESIRED, NUMBERS  
SHOULD BE ATTACHED  
TO BOTH SIDES OF  
BOX

FRONT OF BOX  
SHOULD BE EVEN  
WITH BACK  
OF CURB

HEIGHT:  
42" FROM  
BOTTOM OF BOX  
TO TOP OF CURB



# **SITE LAYOUT**

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## **Water Wells**

Private water wells are prohibited on all residential lots in Gleannloch Farms Subdivision, regardless of lot size. Prohibited water wells include those intended as a source of water for irrigation, ponds, swimming pools, heat exchange air conditioning systems and potable water. All water use in Gleannloch Farms Subdivision is under the jurisdiction of Harris County Municipal Utility District No.367.