



**Section Fourteen  
The Paddock Estates**

**RESIDENTIAL DESIGN GUIDELINES**

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Gleannloch Farms Community Association Inc.

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## FOREWORD

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Gleannloch Farms is being developed as a master planned residential community. This document is presented as a minimum set of development guidelines and standards for Gleannloch Farms Section Fourteen –Paddock Estates. The intended use is to provide an understanding of responsibilities of the Developer and the Builder, to develop a framework to illustrate and define design objectives and requirements to create a unified, harmonious setting for divergent lifestyles and tastes inherent in a planned development.

These guidelines are supplemental to The Declaration of Covenants, Conditions and Restrictions, and are to be used by the Architectural Review Committee (ARC) in review of plans submitted, as required by builders. Non-compliance with these guidelines is grounds for disapproval of plans. These guidelines are also for use as a standard for future compliance to maintain the integrity of the community.

Illustrative examples and descriptions are meant to insure an orderly, well-maintained and attractive environment for the residents of Gleannloch Farms.

The Paddock Estates and Estates of Gleannloch Farms are meant to be the cornerstone of exclusive residences for the entire Gleannloch Farms community. Designs with expansive front elevations that maximize lot frontage and streetscape opportunities are encouraged.

Gleannloch Farms is located in Northwest Harris County, Texas in the extra-territorial jurisdiction of the City of Houston. Rules and regulations of these entities supercede the residential guidelines.

# SITE LAYOUT

## Building Setbacks

### Paddock Estates of Gleannloch Farms

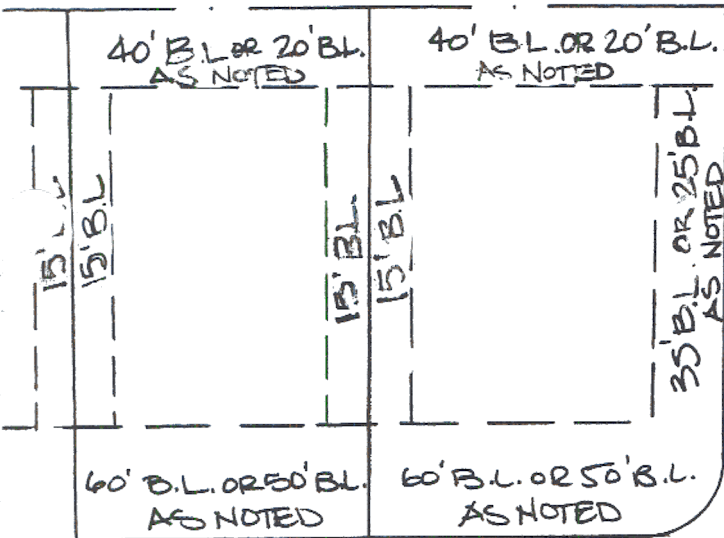
Building lines have been established in the Paddock Estates section to provide a more open and spacious environment, by keeping structures farther back from streets.

The front building line on block one, lots 1-30 and is sixty feet (60'). The front building line on block one lots 31-52 and block two lots 1-13 is fifty feet (50').

The rear building line on block one lots 11, 12, 13, 14, 19, 20, 21 & 22 and block two lots 1-11 is forty feet (40'). The rear building line on block one lots 31-52 and block two lots 12 & 13 is twenty feet (20').

The interior side building line on all lots is fifteen feet (15'). The side building line on corner lots is thirty-five feet (35') for block one lots 1, 4, 7, 8, 16, & 30 and block two lot 1. The side building line on corner lots is twenty-five feet (25') for block one lots 35, 36, 44, 45, 50, & 51

No structure, including attached garages, may be built past the rear setback line.



## SITE LAYOUT

### Residential Driveway/Garage Placement for Paddock Estates of Gleannloch Farms

To achieve the exclusive Estate Lot/Custom Home concept for the Paddock Estates of Gleannloch Farms, the relationship of garages to the residence and adjoining lots, street rights of way and the golf course is of special importance. Designs that eliminate or minimize the public view of garages are preferred. Front loaded garages are strongly discouraged. Gleannloch Farms Paddock Estate lots are of a depth and width that should accommodate rear or side entry for attached or detached garages. Garages, where visible to the public, shall have separate doors for each car. Double doors may be approved at the discretion of the ARC.

All side loaded garages should have a 2' shadow box type overhang in front.

#### **Block One – lots 1-30 & Block Two – lots 1-11:**

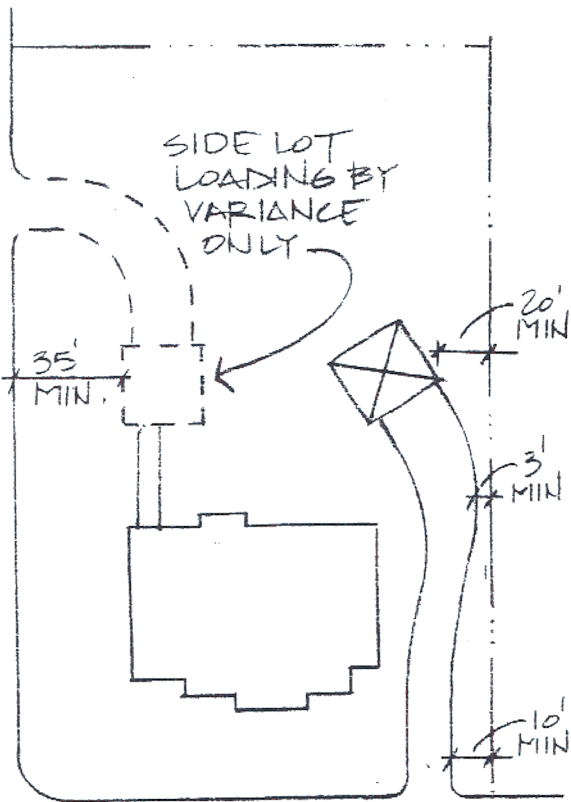
Side loaded garages should be set back at least ten feet (10') from the principal elevation of the house. At the discretion of the Architectural Review Committee, side loaded garages protruding in front of the principal elevation of the residence may be approved on a lot by lot basis.

Where it is necessary to have a front loaded garage, the garage must be set back at least twenty-five feet (25') from the principal elevation of the house. In addition, an architecturally compatible roof overhang (porte cochere) a minimum of eighteen feet (18') in depth is required. To minimize and lessen the impact of front loaded garages, the location of side yard fences, the use of wing walls and other screening devices may be considered for lot specific ARC approval.

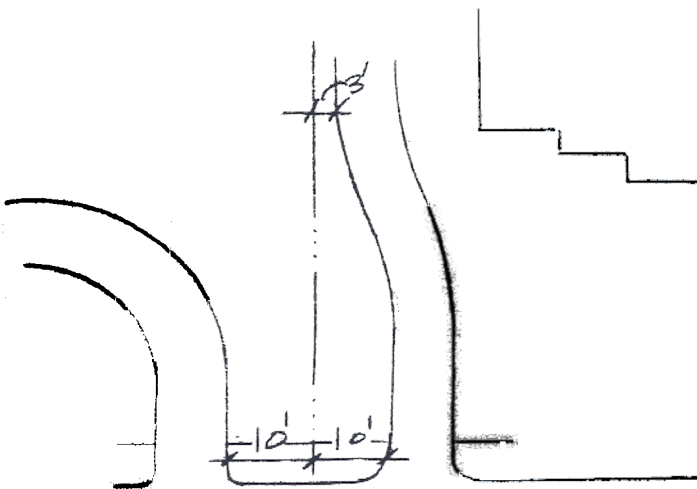
#### **Block One – lots 31-52 & Block Two – lots 12-13**

Where it is necessary to have a front loaded garage, the garage must be set back at least twenty feet (20') from the principal elevation of the house. In

GLEANNLOCH FARMS DESIGN GUIDELINES



CORNER LOT GARAGES



ADJACENT DRIVEWAYS

Variance allowed  
per D. Caron  
1/03

addition, garages should have a two foot (2') shadow box type overhang in front. A two car front loaded garage must have an eight foot (8') architecturally compatible roof overhang. To minimize and lessen the impact of front loaded garages, the location of side yard fences, the use of wing walls and other screening devices may be considered for lot specific ARC approval.

Rear garages are not permitted on any lots backing the golf course.

The following is a list by lot and block number dictating location of residential driveways and garages. Locations of driveways and garages have been determined for reasons of aesthetics, vehicular circulation and safety.

The designation of left, right or optional is determined by viewing the lot from the street right - of-way facing the lot. Side lot loading is not permitted. A variance request, in writing, may be considered for certain lots having frontage on two sides if the garage is set back from the right-of-way thirty-five feet (35').

Left Side: *Block 1 - lots 1, 8, 16, 21, 36, 45*

Right Side: *Block 1 - lots 4, 7, 20, 30, 35, 44, 50*  
*Block 2 - lot 1*

Optional: *Block 1 - lots 2, 3, 5, 6, 9, 10, 11, 12, 13, 14, 15, 17, 18, 19, 22, 23, 24, 25, 26, 27, 28, 29, 31, 32, 33, 34, 37, 38, 39, 40, 41, 42, 43, 46, 47, 48, 49, 51, 52*  
*Block 2 - lots 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13*

Side Lot loading: (variance request may be considered with 35' garage setback)

*Block 1 - lots 4, 7, 8, 16, 30*

There shall be no driveway access to Northpointe Drive from:

*Block 1- lot 52*

*Block 2- lot 13*

**\*\*\*\*Driveway side designations apply only to lots without circular drives.**

Driveway construction may be of concrete construction, however, concrete pavers or stamped concrete are the preferred treatments. Acceptable border treatments include: concrete pavers, stone or a concrete band (min. 4" x 4"). No gravel or asphalt driveways are permitted.

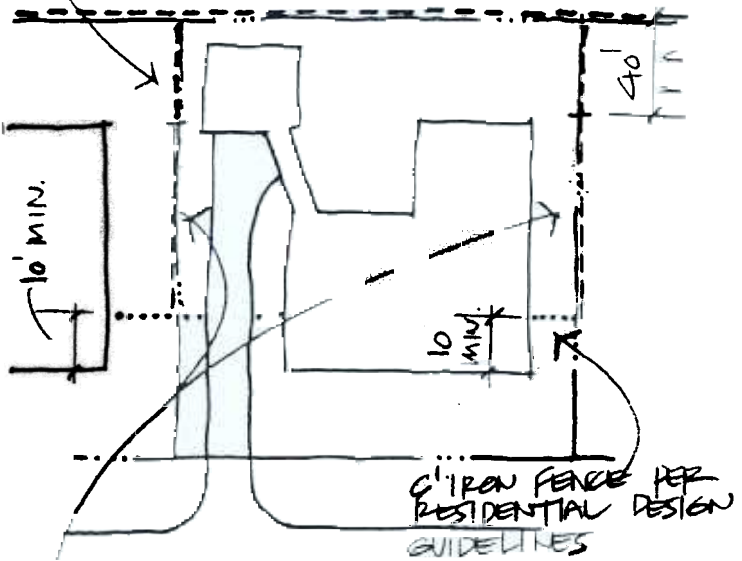
Driveways may be no closer than ten feet (10') to side property lines at the point where they enter the property from the street (Block one lots 1-30 and Block two lots 1-13). Driveways may be no closer than seven feet (7') to side property lines at the point where they enter the property from the street (Block one lots 31-52). They may be transitioned back to the side property line, but can be no closer than three feet (3'). Garages must be a minimum of 15' from side property line, but at least 20' is preferred. Corner lot garages must be set back 35' from street.

Corner lots may not have side facing garages.

Walks extending from the front entrance of the residence must return to the driveway, and are not permitted to run directly to the street. Corner lots with side loaded garages may apply for a variance to this requirement. In the event a variance is granted, the walk may stretch from front of residence to the street, but must conform to culvert details shown later in this document.

48" IRON FENCE BY BUILDER  
PER RESIDENTIAL DESIGN  
GUIDELINES

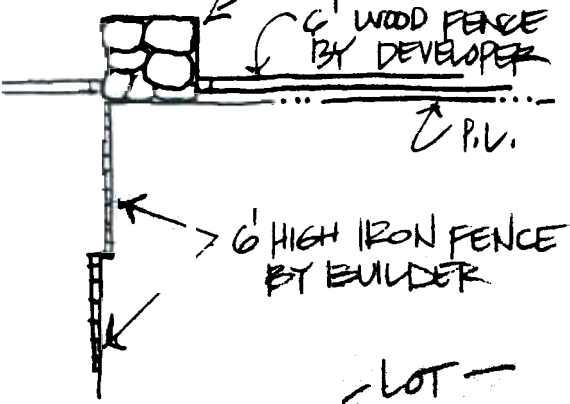
GOLF COURSE OR  
COMMON OPEN SPACE



IRON FENCE BY BUILDER

STONE COLUMN  
BY DEVELOPER

LANDSCAPE RESERVE  
OR OPEN SPACE



DEVELOPER PERIMETER FENCE

## SITE LAYOUT

Fencing • The Paddock Estates of Gleannloch Farms

The builder shall be responsible for installing perimeter fencing with the good side facing the residence at the rear or side of the following lots abutting the adjoining Homestead Oaks neighborhood:

*Block 1* - lots 23, 24, 25, 26, 27, 28, 29, 30, 31, 40, 41, 47, 48, 52

The builder shall be responsible for installing a 48" high iron fence on lots siding or backing the golf course for the following lots. A 6' high iron fence shall extend from a minimum of ten feet (10') behind front of residence to the iron fence at the rear of the property. A 48" high iron fence shall extend from the rear property line to a minimum distance of forty feet (40') towards the front of the property.

*Block 1* - lots 1, 11, 12, 13, 14, 19, 20, 21, 22

A 48" high iron fence shall extend from the rear property line to a minimum distance of thirty feet (30') towards the front of the property.

*Block 2* - lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11\*, 12\*, 13\*

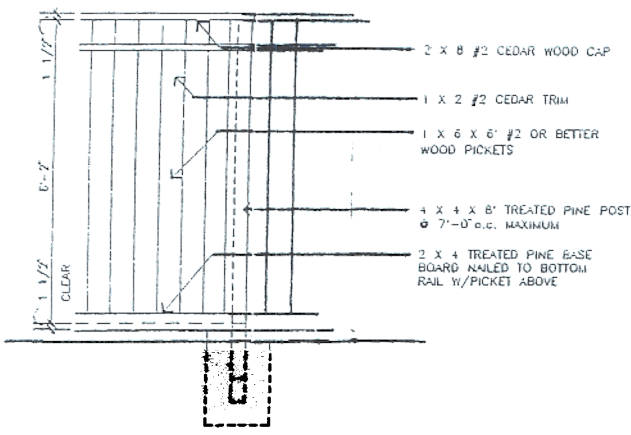
\* A variance may be requested for a premium wood fence at the rear of these lots. Fence MUST be approved by GFCA.

Fences on the following interior lots shall be constructed using a double sided wood fence as shown on the next page.

*Block 1* - lots 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52

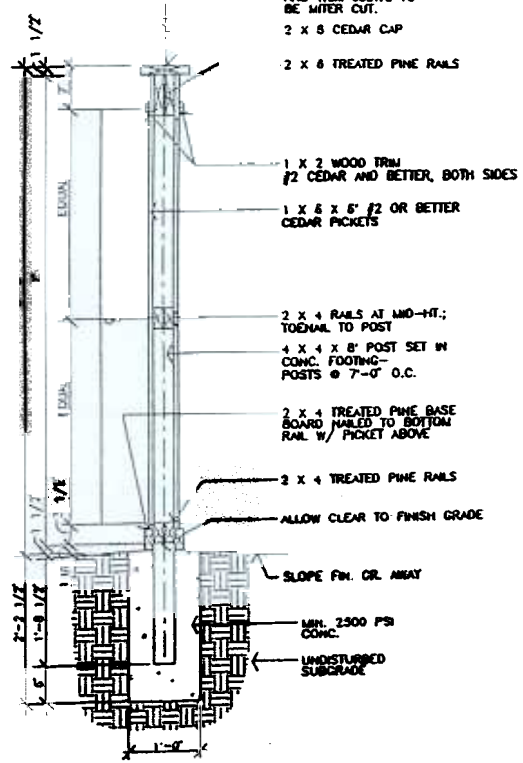
All interior lot fencing is to be 6' iron. All 6' iron fence is to match the iron fence detail shown on page 22 of the Gleannloch Farms Residential Design Guidelines and page 8 of this supplement.

All 48" iron fence adjacent to golf course, or greenbelts shall match the iron fence detail shown on page 17 of the Gleannloch Farms Residential Design Guidelines.



DOUBLE SIDED WOOD FENCE - ELEVATION

**NOTE**  
 ALL POSTS & RAILS TO BE PRESSURE TREATED PINE (MIN. 40 PCF). CAP, PICKETS & TRIM ARE #2 CEDAR AND BETTER. NO KNOTS. ALL CAP AND TRIM JOINTS TO BE MITER CUT.



DOUBLE SIDED WOOD FENCE - SECTION



# SITE LAYOUT

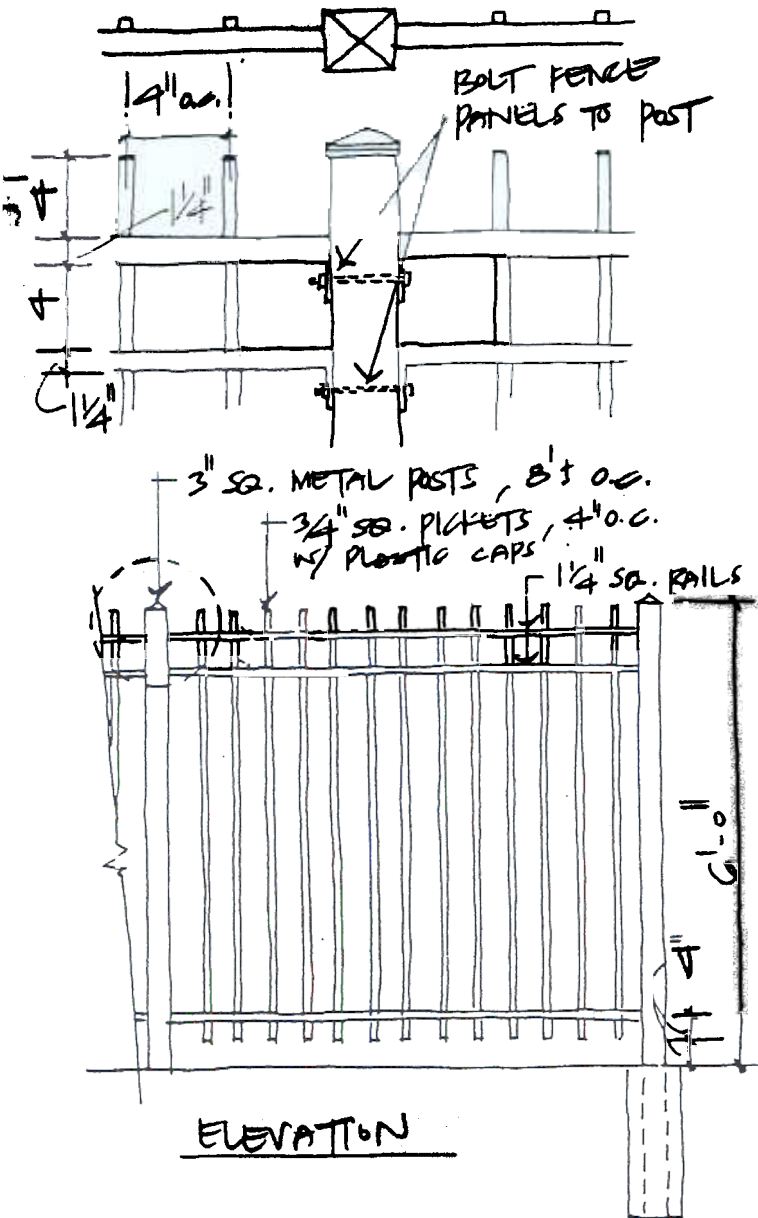
## Wrought Iron Fence

### The Paddock Estates of Gleannloch Farms

Wrought iron fences are to be installed as to the design standards illustrated. Panels bolted instead of welded to posts are recommended, for ease of maintenance and access. Iron should be primered and painted semi-gloss black. Attach panels to stone columns using lead expansion anchors and galvanized bolts.

Set iron posts in concrete footing.

All fences are to be constructed as shown at left. No other wrought iron fence designs will be approved.



## LANDSCAPE

Minimum Residential landscaping requirements •  
The Paddock Estates of Gleannloch Farms

*All landscaping requirements must be completed no later than 30 days after move in.*

### TREES

Four machine dug and two thirty gallon (30 gal.) container grown trees selected from the plant material list (preferred specimen trees) in the Landscape section of the Gleannloch Farms Residential Design Guidelines are required on non-wooded lots in the Paddock section, in addition to required street trees. It is recommended that at least one of the required trees be a loblolly pine or oak tree. The required trees must be a minimum of 4" caliper. When lots front and side on two streets, there shall be an additional three trees for side yard. Lots adjoining golf course, lakes or open spaces require three additional trees in rear or side yard. Pine trees are preferred, but the ARC may consider other large trees of equal size from the approved plant list, for variances.

### SHRUBS

Estate lots require the planting of a minimum of 80 small one gallon shrubs and 45 large five gallon shrubs. Plants used as minimum requirements shall be selected from the approved plant list.

Planting beds are to be curvilinear with the shrubs massed in tiers - smaller shrubs in the front of the bed. Groupings of shrubs of the same species provide a substantial look. A single row of foundation planting is not acceptable. Radius beds 10' minimum from building and vary widths of beds. Mulch all beds with 2" shredded pine bark. No gravel or rock of any size or color is permitted for use or substitution for shrubs, ground cover, mulch or grass lawns. Specimen boulders and stone borders are permitted.

Entire lot is to be solid sod St. Augustine grass, including sides of ditches and area between ditch

and street. Specific guidelines for treatment of ditches can be found at the end of this supplement. Builder must desilt ditches prior to sodding to prevent altering the existing flowline.

Entire lot must have an irrigation system covering lawn and shrub areas.

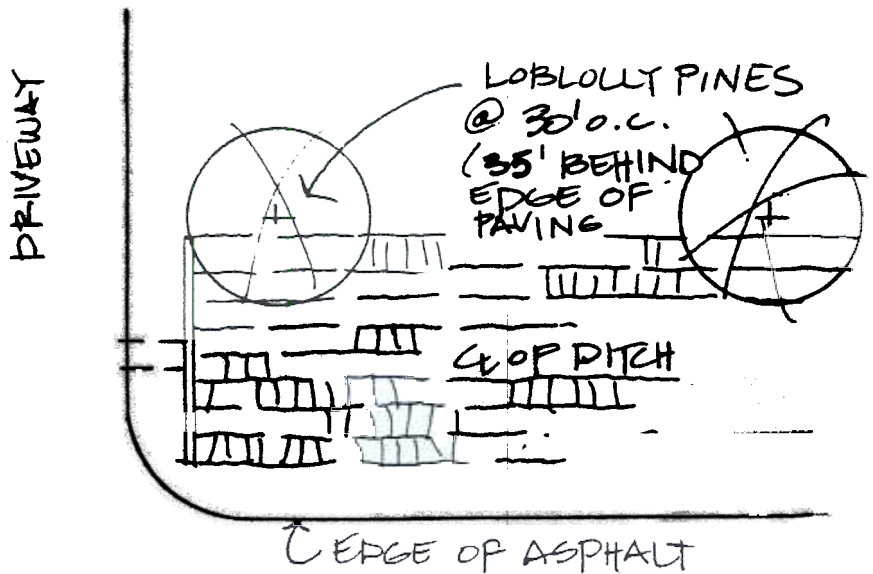
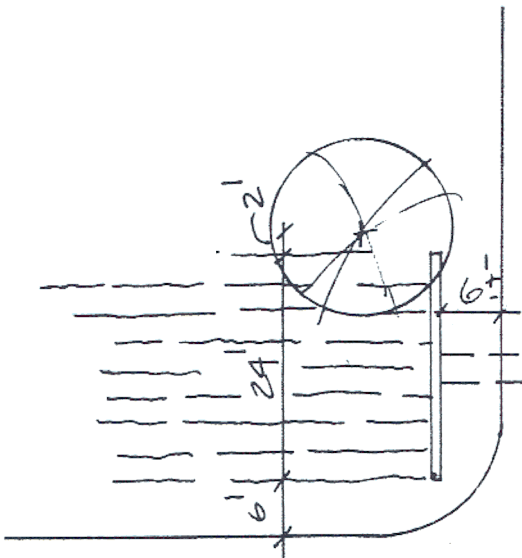
# SITE LAYOUT

## Street Trees

In order to preserve the special character of The Paddock of Gleannloch Farms, each lot requires the planting of street trees (Loblolly Pines) to create rows of pines.

Loblolly Pines are to be machine dug trees by the Builder and placed thirty feet (30') on center along the entire street frontage of the property. Street trees are to be placed according to the sketch below. A layout of driveway locations and proposed tree locations must be submitted to obtain approval. Plans will be approved related to adjoining existing residences, so as to create the most uniform spacing possible.

Homeowner is required to maintain all lot area between the front of the residence and the street (including ditches).



# SITE LAYOUT

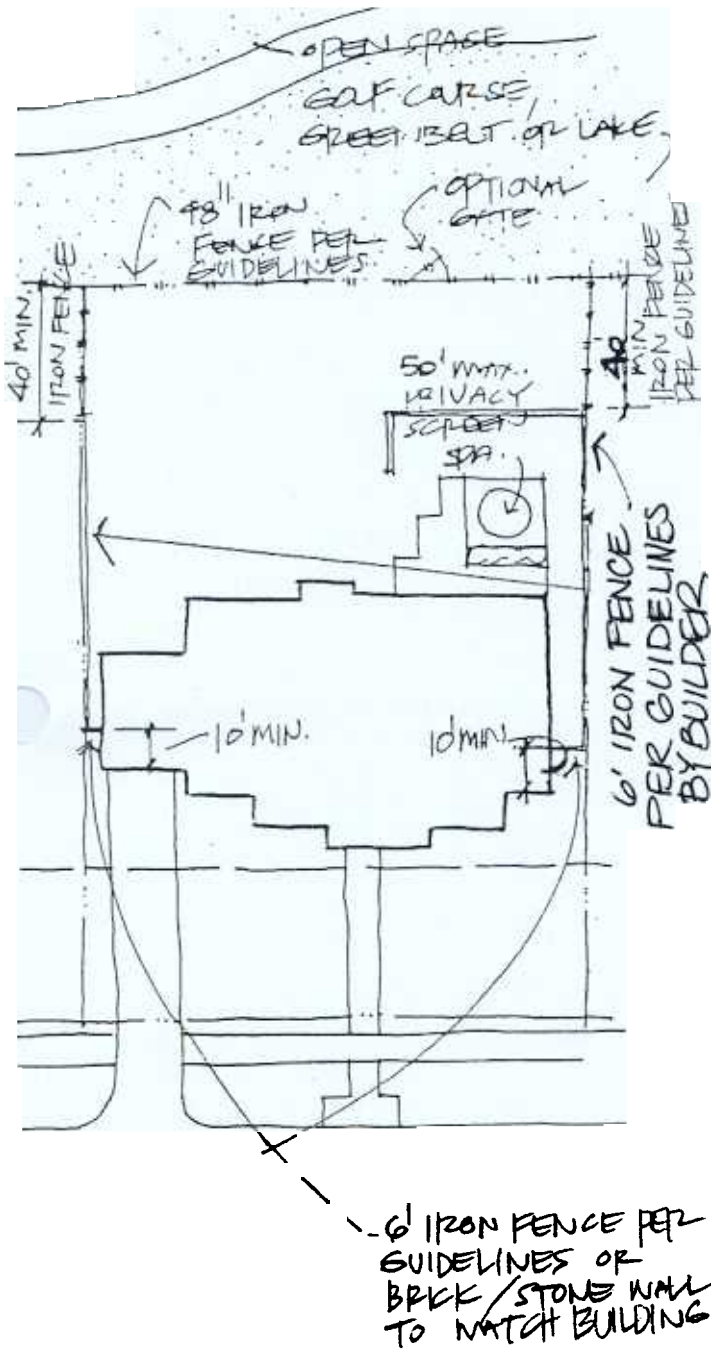
## Greenbelt Lots

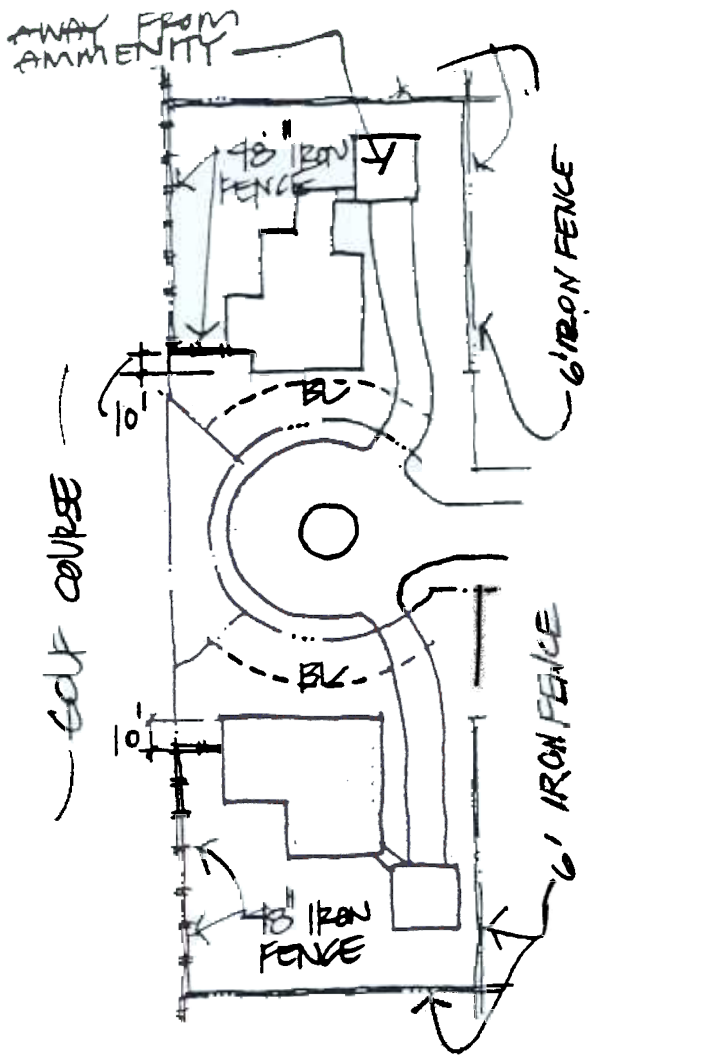
Lots backing onto greenbelts, golf courses and other areas designated as common open space are to be fenced with wrought iron of a standard design as shown in the Residential Design Guidelines. This fencing is required to promote a feeling of spaciousness for the lots and the open space. These lots may have direct access to the open space via gates in the iron fence. Gates may be installed at the option of the builder or lot owner. Rear and side lot fencing is further defined in these supplemental guidelines.

The back yards of these lots must be treated in the same way as the fronts of the lots. The entire yard must be solid sod St. Augustine grass and have an irrigation system installed. A minimum of 40 small shrubs (one gallon) and 20 large shrubs (5 gallon) is also required. The back yards will be in full view of residents, guests and golfers. Provisions are made in these guidelines for privacy fencing or screening.

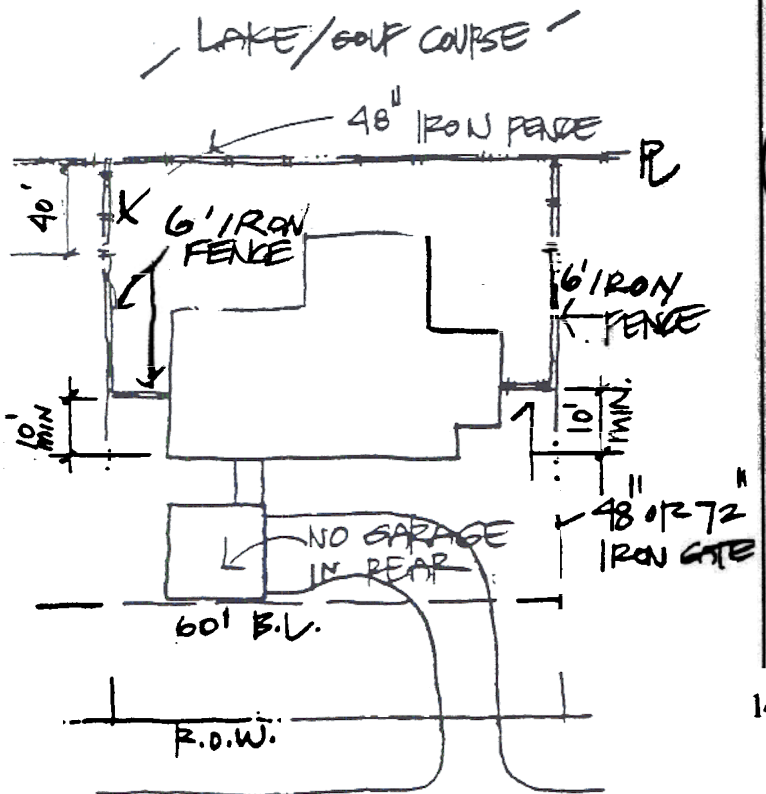
To open up the greenbelt and to avoid creating an alley effect, rear and side lot lines are required to be fenced with a 48" high iron fence using the design illustrated in the fence section. This fence is to be placed on the rear lot line and return no less than forty feet (40') down side lot lines. Certain lots may be further defined in the Supplemental Guidelines.

Privacy fencing is permitted, but must be done according to the following guidelines. Privacy screens must be set back a minimum of 40' from rear property line and must not be more than 50' in length parallel to the rear property line. Dog kennels, storage yards, wood piles, etc. are not to be visible from public view. Creating and maintaining a backyard that is viewed from open space and from nearby residences offers the chance for special design concepts.





LOTS SIDING ON GOLF COURSE



LOTS BACKING ON GOLF COURSE

## SITE LAYOUT

### Golf Course Lots

Lots adjacent to the Gleannloch Farms Golf Course are to be developed to derive the full potential of open space and views of golfing activities. Therefore the residences and grounds should be equally pleasing when viewed from the golf course.

The golf course has been designed using generally accepted criteria for golf course subdivisions, with adequate distances between fairways and residential lots. Design consideration for buildings, site layout and landscape planting should be addressed to protect against the possibility of errant golf balls. Large pane glass windows are discouraged. If a great amount of glass is desired, it should be in smaller, easier to replace panes. Strategic siting and tree planting can be accomplished for additional safeguards. Golf course lots will have a 60' front setback, a 40' rear setback and a 20' interior side setback.

Fencing of property lines adjacent to the golf course must be done according to the design criteria, illustrated in the fence section, by the builder or lot owner.

No structure, including a detached garage, may be built past the rear setback line.

No detached garages are permitted on golf course lots.

## GRAPHICS

### Custom Home Builder Sign

One sign per single family lot allowed until occupancy.

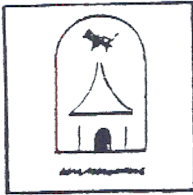
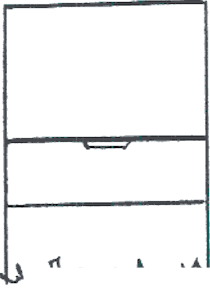
Information to be conveyed:

Gleannloch Farms Logo

Name of Builder

Phone Number - Central Sales Office

24" x 32" sign panel may use Builder's name and/or logo or trademark. Colors and graphics are to be submitted to Architectural Review Committee.



PINE OAK  
BUILDERS

(281) 555-0000



# SITE LAYOUT

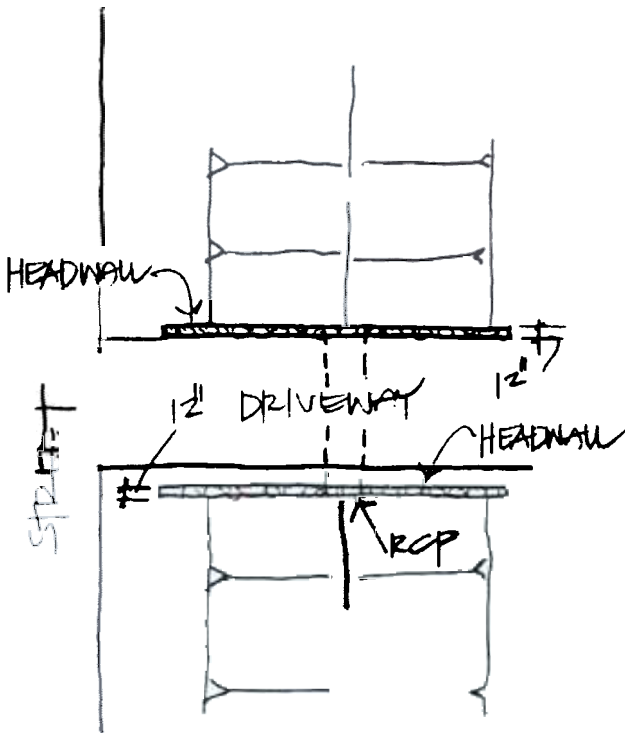
## Culvert Detail

A system of open ditches will run throughout Gleannloch Farms Section Fourteen – The Estates. Each driveway shall have a culvert faced with "Oak Ridge Gold" natural stone (San Jacinto Stone Co.). Mortar shall be a colored mix by "Chemsystems" – number MC43. Add 2 lbs. per sack of concrete.

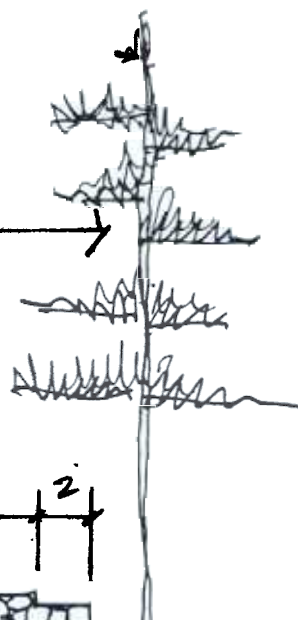
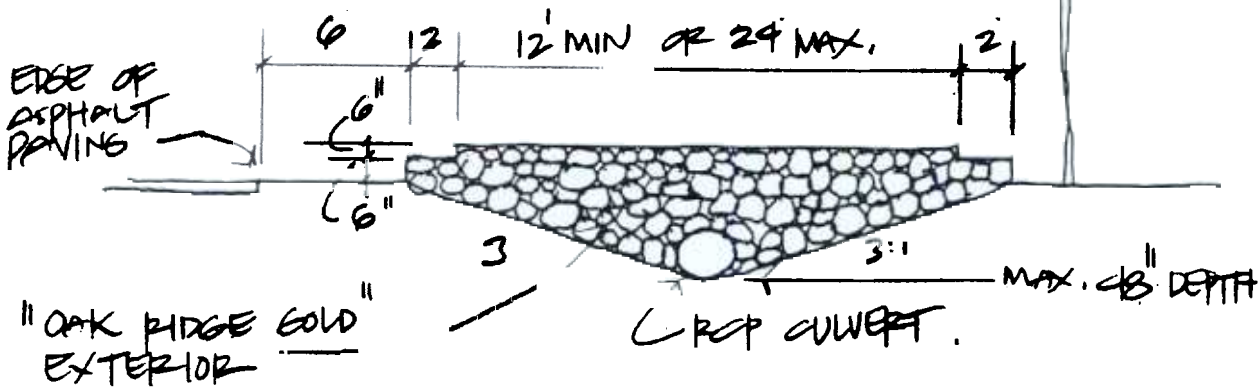
Circular drives must have a stone culvert at each point of access to the lot.

Any pipes carrying water from lot to ditches at front of lots must terminate at driveway culvert. Pipe must be cut off flush with slope and faced with Oak Ridge Gold Stone so that no exposed pipe is visible from the street.

A memo detailing the procedure and fee structure to accompany culvert construction can be found at the end of this supplement.



LOT BOUNDARY PINES  
32' BEHIND EDGE  
OR PAVING AT  
30' O.C.



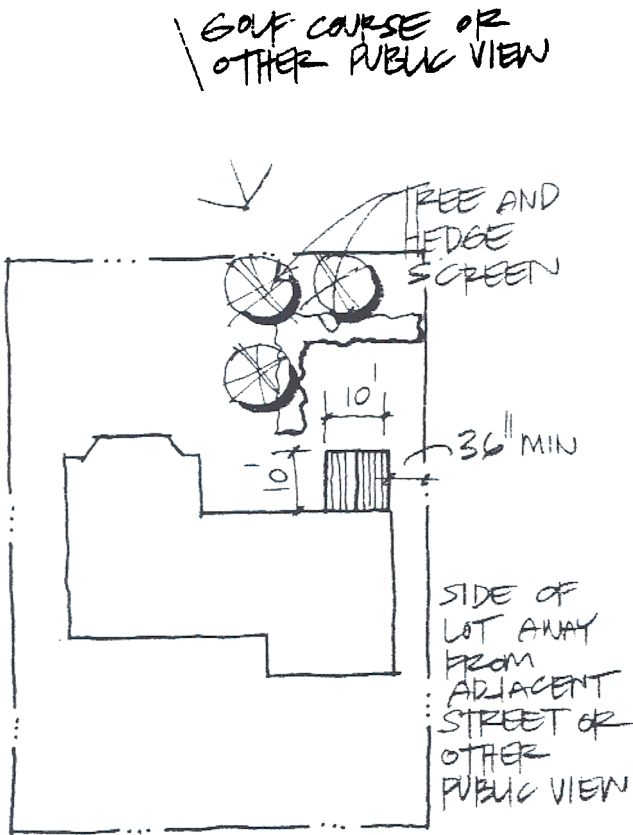


# ARCHITECTURE

## Outbuildings

Any structure on a lot other than the residence, detached garages, gazebos, and children's play equipment shall be considered an outbuilding. Generally outbuildings are used for storage or as tool sheds. Outbuildings shall not exceed 10' x 10' (100 square feet), and shall be no more than 8' high. They shall be located no closer than 3' from side property lines and on the side of the lot farthest from public view of streets, golf courses and common open space or in a location that is the least obtrusive.

Building materials, paint color and roof shingles shall be compatible and blend with the residence.



SITE REQUIREMENTS

# ARCHITECTURE

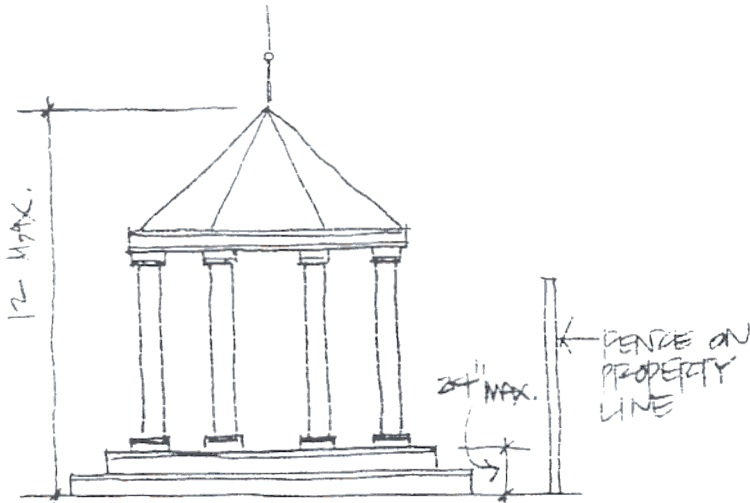
## Gazebos/Shade Structures

Freestanding structures for shade and ornamentation may be placed in rear and side yards behind fences. Gazebos may be octagonal, hexagonal, round or square with conical or hip type roofs less than 12' high, measured from the ground plane.

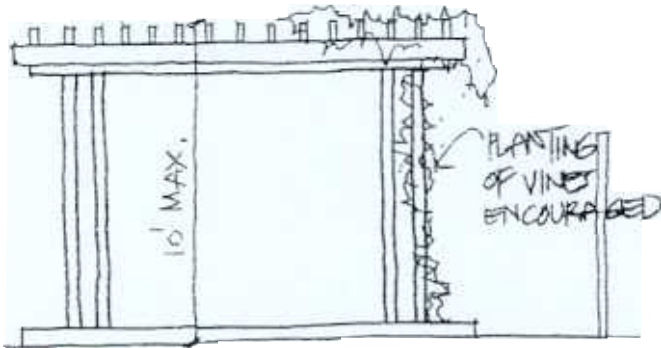
Associated decks or paved slabs shall not be more than 2' above the ground plane.

Arbor or trellis type shade structures are also permitted but shall not exceed 10' in height. The roof of these structures may not be used as an elevated deck for outdoor seating.

Gazebos/shade structures are not permitted closer than 20' from any property line and shall not encroach on any utility easement.



GAZEBO



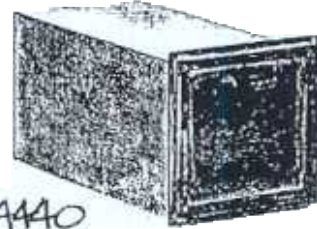
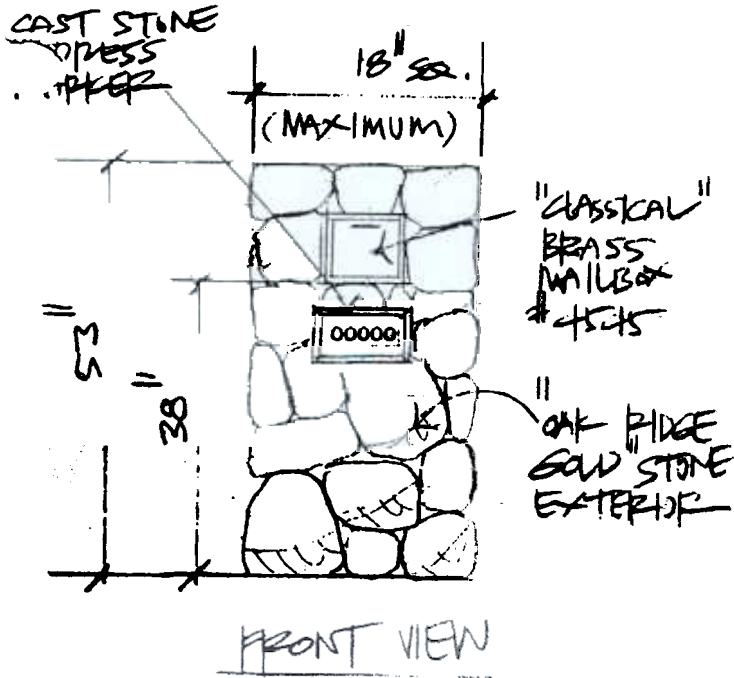
SHADE STRUCTURE

# ARCHITECTURE

## Mailboxes

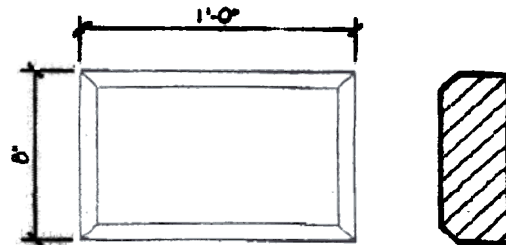
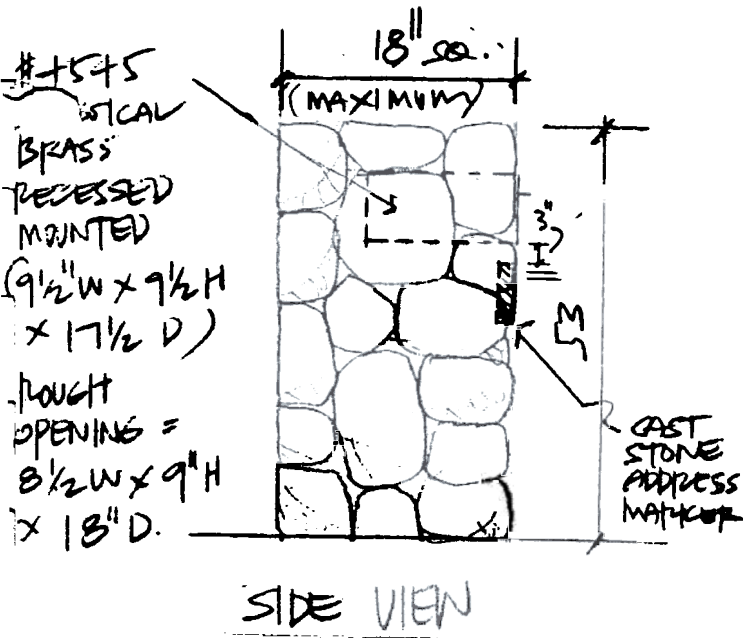
All Section six mailboxes are to be of the design shown at left. A 53" high stone column with classical brass mailbox. Mailbox available through: "Salsbury Industries" phone # 1-800-MAILBOX 1010 East 62<sup>nd</sup> Street Los Angeles, CA 90001 [www.mailboxes.com](http://www.mailboxes.com)

Mailboxes are to be constructed of "Oak Ridge Gold" natural stone (San Jacinto Stone Co.). Mortar shall be a colored mix by "Chemsystems" - number MC43. Add 2 lbs. per sack of concrete.



Classical Brass - recessed mounted

CAST STONE ADDRESS MARKERS (MODEL # M1253) ARE AVAILABLE FROM: STEWARTS ARCHITECTURAL CAST STONE (713) 861-7923 357 YALE HOUSTON, TX. 77007



TYPICAL ADDRESS MARKER

1234

TYPICAL TEXT FONT

PAINT NUMERALS  
"CEDAR GREEN"  
(STERLING-WILLIAMS PAINT CO.)

NOTE! NO "ROUNDED" COLUMN TOPS